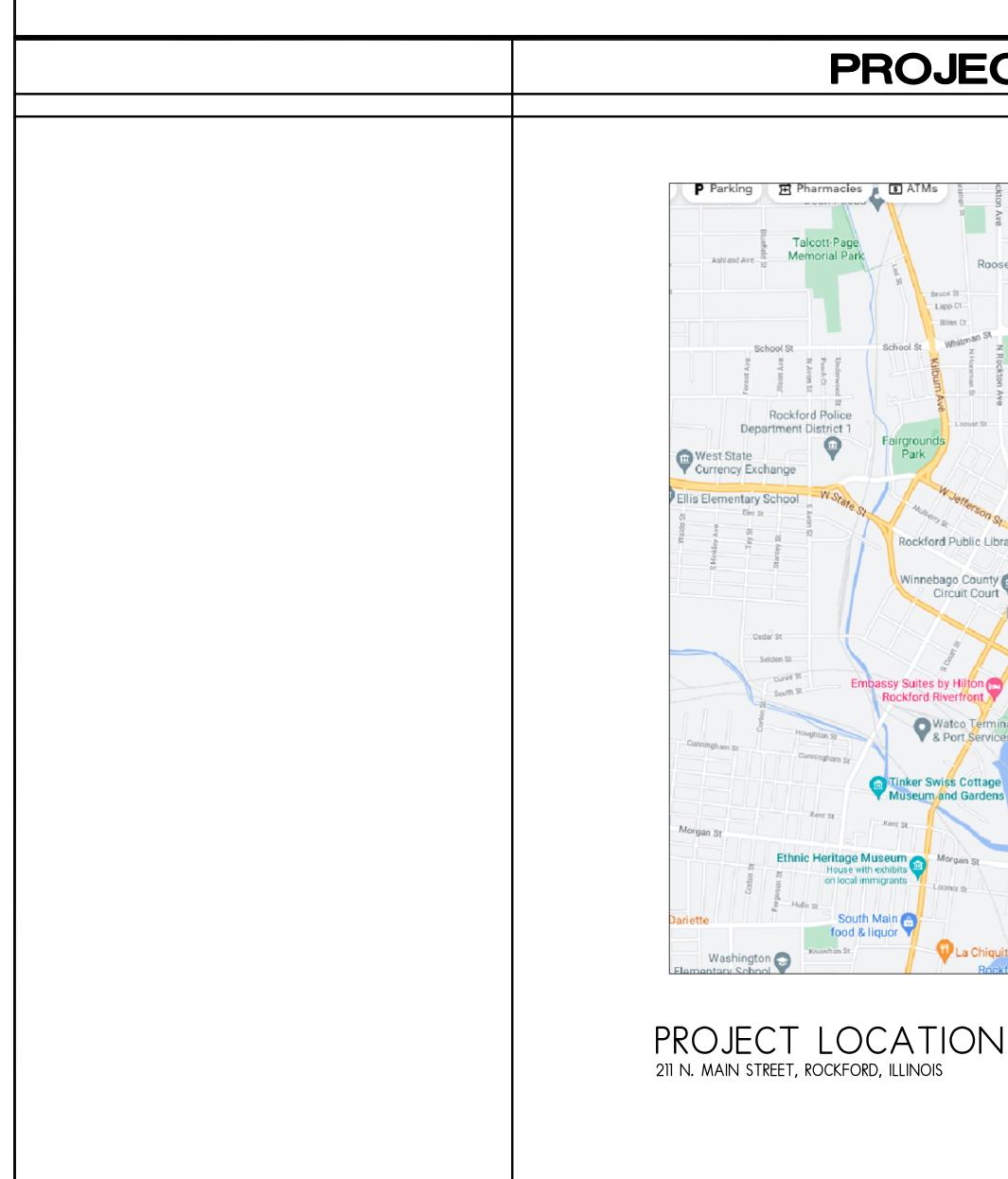
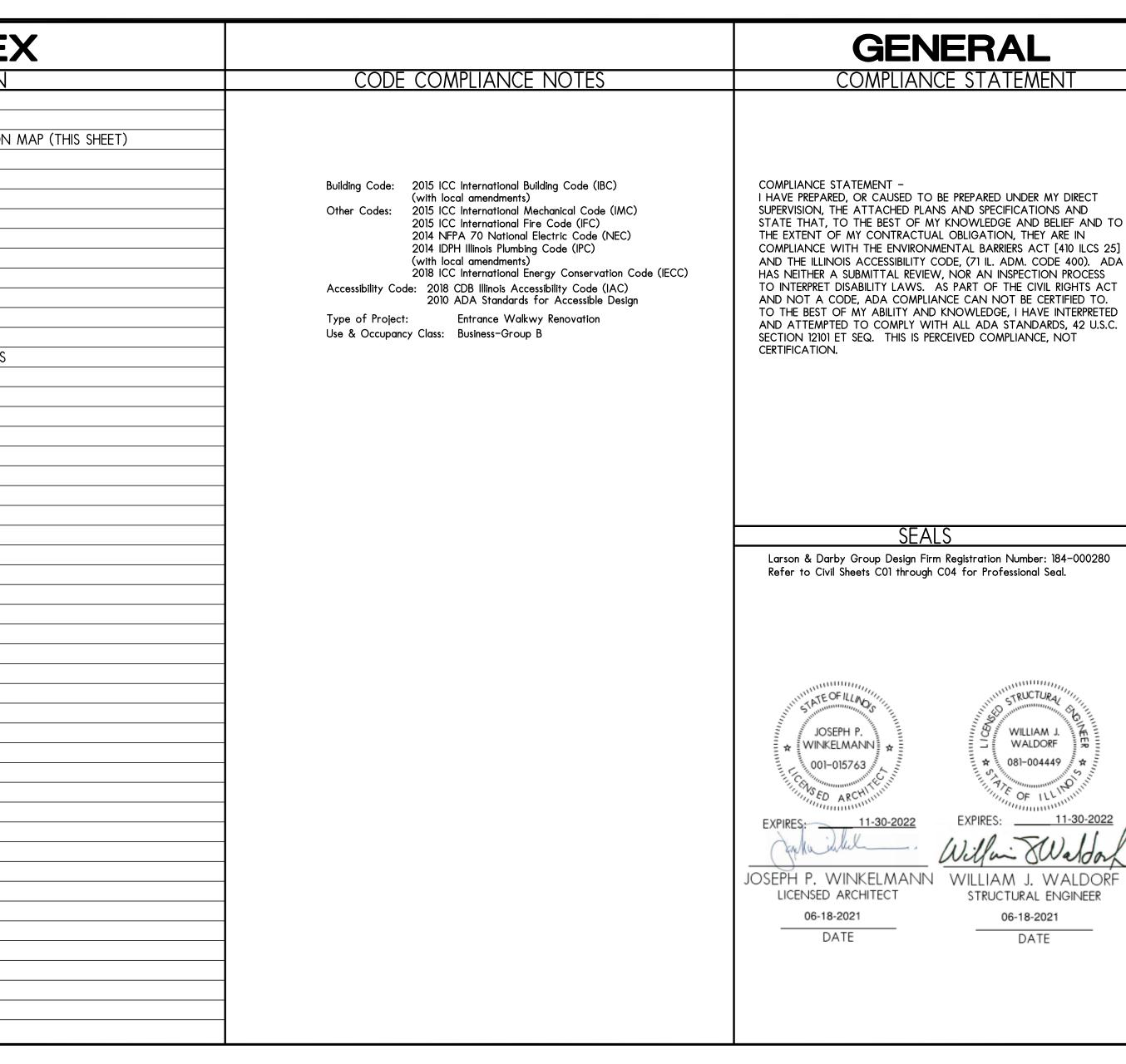


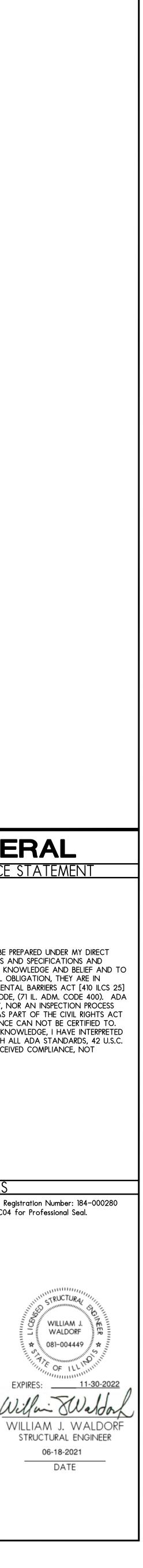
ISSUED FOR: PLAN REVIEW

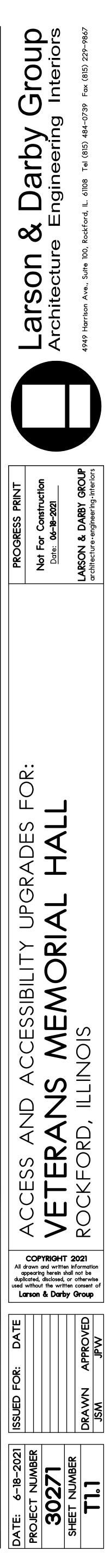


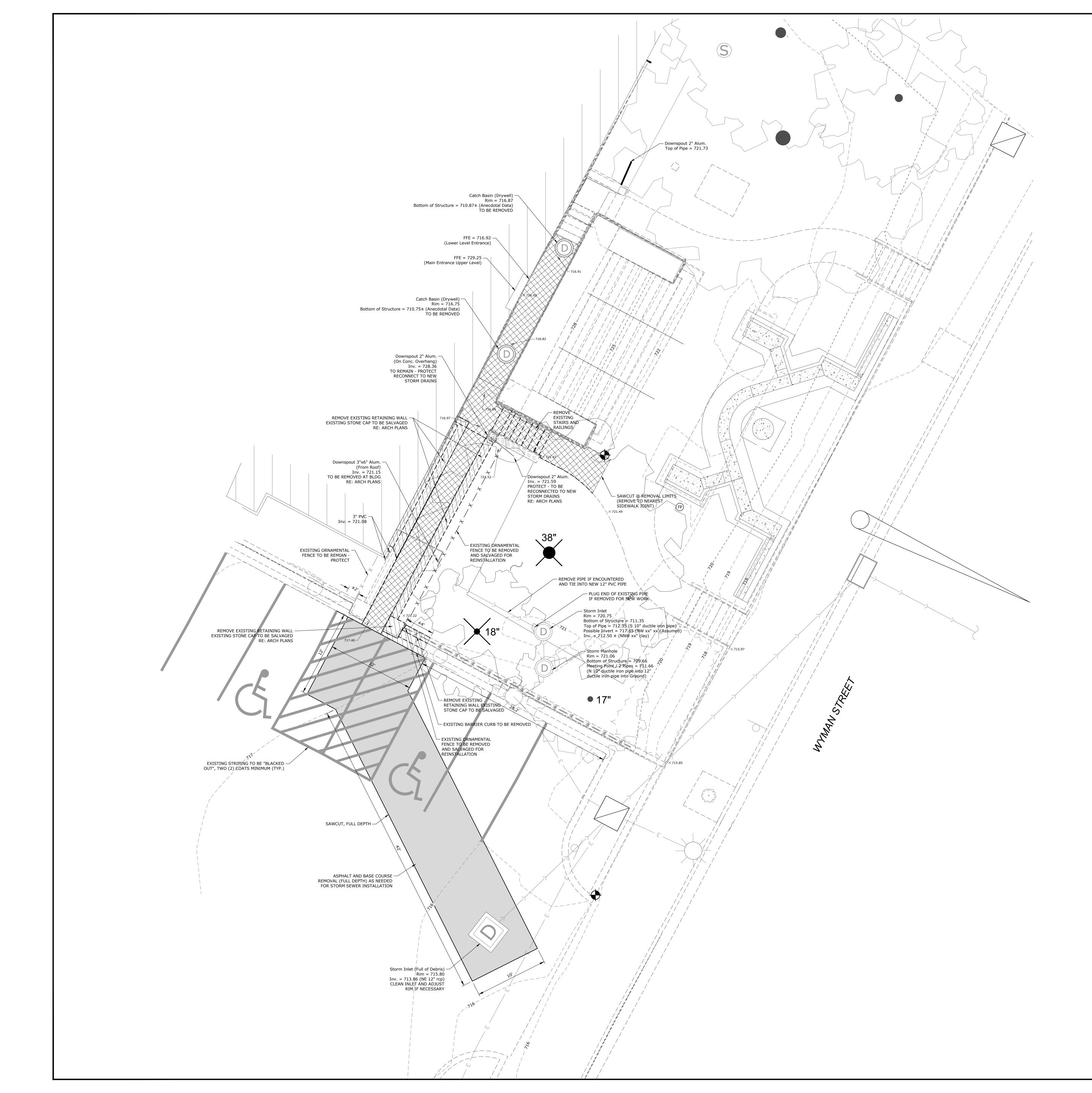
CT LOCATION MAP		SHEET INDE		
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	T1.1	PROJECT COVER SHEET & LOCATION		
Keith Country				
Garfield Ave Cathedral of St. Peter Bolivin Ave 30 Day School ▼				
Ashland Ave		CIVIL / LANDSCAPE		
osevelt High School 🔮 🖉 Gue Cant Nation Sinnissippi	C01	REMOVAL PLAN		
Bruce St Gardens Bruce St Gardens Nicholas Conservatory Sinnissippi	C02	LAYOUT AND LANDSCAPE PLAN		
	C03	GRADING AND DRAINAGE PLAN		
z z z z Oregonia (angle Rock River 25)	C04	CONSTRUCTION DETAILS		
Rock Winned				
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The valley Willie and the state of the st	A1.1	PLANS, SECTIONS AND ELEVATIONS		
Riverfront Museum Park	A1.2	SECTIONS AND DETAILS		
🗘 Verdi Club Scandinavian Cemetery 🚇 🔬 🚽				
Chicago Ave				
3 A Hold Failing Rural on Tap A				
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UW/Health Sports Factory Walnut Walnut				
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SwedishAmerican Hospital				
De Erlander Home Museum				
Swedish community				
Olivo Taco				
Miss Carly's 🖸				
6th Ave				
Auto Paris				
Churchill Park				
N				
	North			

JUNE 18, 2021









LEGEND

EXISTING CONTOUR LINE (TYP) $\heartsuit \otimes$ $\overline{}$ 0 BENCHMARK -0

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PROPERTY LINE ----- LOT LINE ------ EXISTING RIGHT-OF-WAY EXISTING EASEMENT LINE EXISTING CURB AND GUTTER EXISTING CURB AND GUTTER TO BE REMOVED \rightarrow \rightarrow \rightarrow \rightarrow EXISTING STORM SEWER TO REMAIN — «—— «—— «—— »—— EXISTING WATER TO REMAIN EXISTING GAS MAIN TO REMAIN EXISTING FENCE TO REMAIN

> EXISTING PAVEMENT, CONCRETE SIDEWALKS OR STAIRS TO BE REMOVED

EXISTING RETAINING WALL OR CURB TO BE REMOVED

EXISTING ASPHALT TO BE REMOVED

"TYPICAL" FOR ALL SIMILAR ITEMS

EXISTING WATER TO REMAIN

EXISTING SIGN TO REMAIN

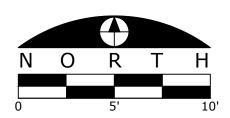
EXISTING SIGN TO BE REMOVED

EXISTING ELECTRIC METER TO REMAIN EXISTING STORM SEWER TO REMAIN

EXISTING TRAFFIC SIGNAL MAST ARM

EXISTING TREE TO BE REMOVED

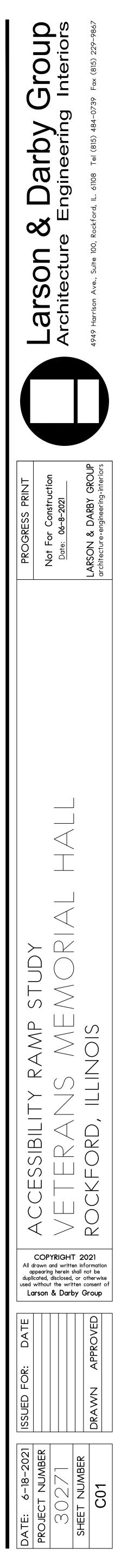
EXISTING TREE TO REMAIN

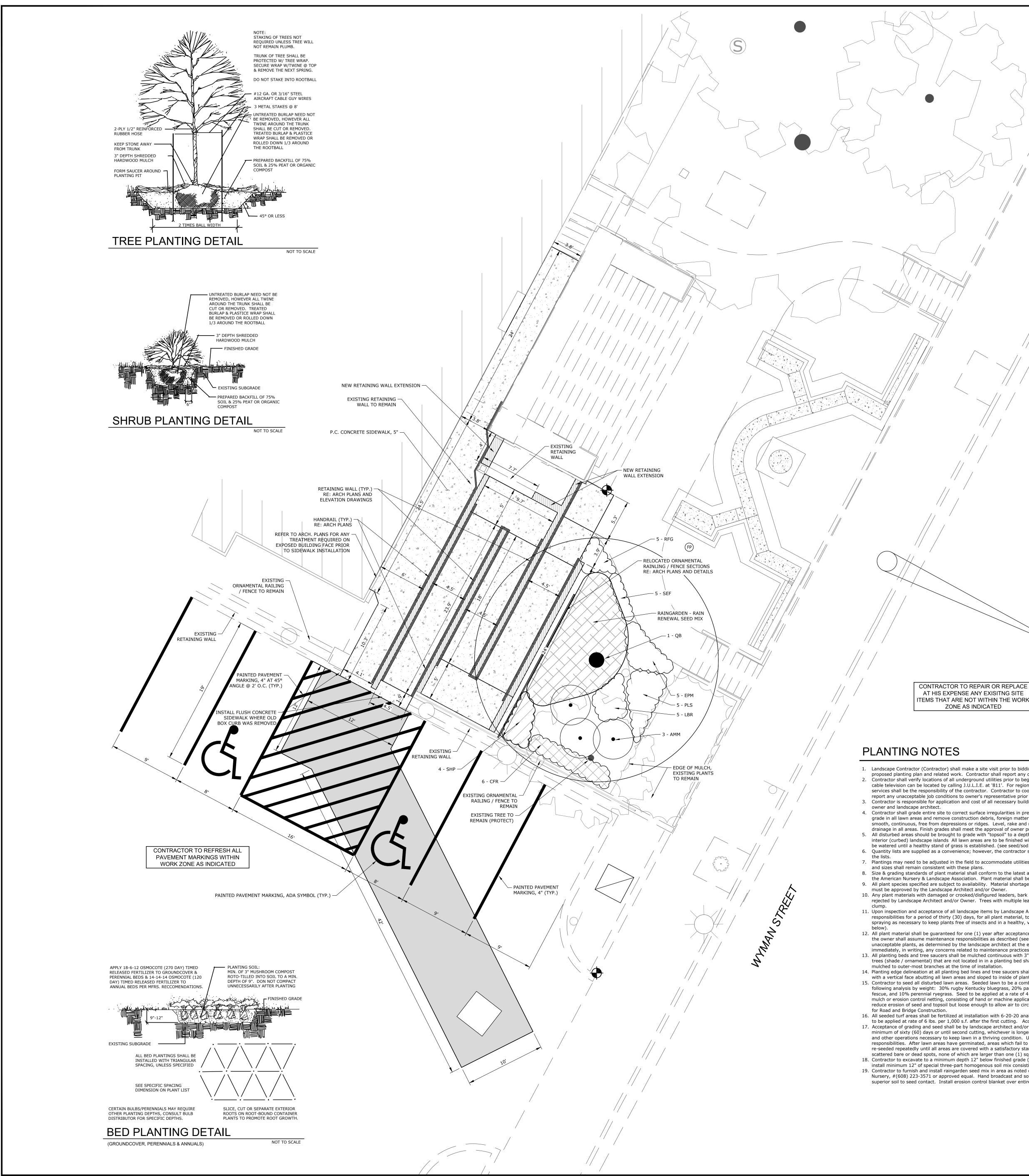


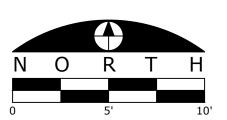
BENCHMARKS	
DESCRIPTION	ELEVATION (USGS
BENCHMARK 1 CHISELED SQUARE	716.52



REMOVAL PLAN







LEGEND

----- PROPERTY LINE

---- LOT LINE —————————— EXISTING RIGHT-OF-WAY ----- EXISTING EASEMENT LINE ---- PROPOSED EASEMENT LINE PROPOSED CURB AND GUTTER

PROPOSED ADA PARKING SPACE

PROPOSED PARKING STALLS

PROPOSED CONCRETE SIDEWALK

EXISTING DECIDUOUS TREE

PROPOSED STANDARD DUTY CONCRETE PAVEMENT

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ORNAMENTAL GRASSES EVERGREEN / DECIDUOUS SHRUBS

MIXED PERENNIALS /

LARGE DECIDUOUS SHADE TREE

LAYOUT NOTES

- 1. THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION AND ELEVATION OF EXISTING PIPE INVERTS, FLOOR ELEVATIONS, CURB OR PAVEMENT WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.
- 2. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- 3. DIMENSIONS THAT LOCATE THE BUILDING ARE MEASURED TO THE OUTSIDE FACE OF THE BUILDING.
- 4. SIGN CONSTRUCTION AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. CURRENT EDITION.
- 5. COORDINATE WORK WITHIN R.O.W. WITH CITY OF ROCKFORD. TRAFFIC CONTROL SHALL CONFORM TO IDOT STANDARDS OF WORK WITHIN THE R.O.W.
- 6. ALL RADII ARE DIMENSIONED TO THE EDGE OF PAVEMENT.
- 7. SOME FIELD ADJUSTMENTS MAY BE NECESSARY AT POINTS WHERE PROPOSED PAVEMENT, CURB AND SIDEWALKS MEET EXISTING PAVEMENT, CURB AND SIDEWALKS. REVIEW ANY REQUIRED CHANGES WITH ENGINEER PRIOR TO CONSTRUCTION OF WORK.

AT HIS EXPENSE ANY EXISITNG SITE ITEMS THAT ARE NOT WITHIN THE WORK ZONE AS INDICATED

NOTE: LANDSCAPING WORK IS ADDITIVE ALTERNATE BID.

1. Landscape Contractor (Contractor) shall make a site visit prior to bidding/construction to inspect the current site conditions and review proposed planting plan and related work. Contractor shall report any discrepancies in the field to the Landscape Architect and/or Owner. 2. Contractor shall verify locations of all underground utilities prior to begining construction on his phase of work. Electric, gas, telephone, and cable television can be located by calling J.U.L.I.E. at '811'. For regional locating, contact "Digger's Hotline". Any damage or interruption of services shall be the responsibility of the contractor. Contractor to coordinate all related activities with other trades on the job and shall report any unacceptable job conditions to owner's representative prior to commencing work. 3. Contractor is responsible for application and cost of all necessary building permits and code verifications. Submit copies of all documents to 4. Contractor shall grade entire site to correct surface irregularities in preparation for sod/seed. Roto-til, disc, drag, harrow or hand rake sub grade in all lawn areas and remove construction debris, foreign matter or stones larger than 2". Grading shall provide slopes which are smooth, continuous, free from depressions or ridges. Level, rake and roll as necessary to an even and true condition and obtain positive drainage in all areas. Finish grades shall meet the approval of owner prior to lawn installation. 5. All disturbed areas should be brought to grade with "topsoil" to a depth of 6 inches in areas to be seeded or sodded, and 12 inches for all interior (curbed) landscape islands All lawn areas are to be finished with mulch, straw mulch, seed, sod, etc. or as noted. All lawn areas to be watered until a healthy stand of grass is established. (see seed/sod notes for acceptance details). 6. Quantity lists are supplied as a convenience; however, the contractor should verify all quantities. The drawings shall take precedence over 7. Plantings may need to be adjusted in the field to accommodate utilities, easements, drainage ways, downspouts, etc.; however, quantities 8. Size & grading standards of plant material shall conform to the latest addition of ANSI Z60.1 AMERICAN STANDARD OF NURSERY STOCK, by the American Nursery & Landscape Association. Plant material shall be nursery grown and be either balled and burlap or container grown. 9. All plant species specified are subject to availability. Material shortages in the landscape industry may require substitutions. All substitutions 10. Any plant materials with damaged or crooked/disfigured leaders, bark abrasion, sun scald, insect damage, etc. are not acceptable and will be rejected by Landscape Architect and/or Owner. Trees with multiple leaders will be rejected unless called for in the plant list as multi-stem or 11. Upon inspection and acceptance of all landscape items by Landscape Architect and/or Owner the contractor shall assume maintenance responsibilities for a period of thirty (30) days, for all plant material, to include: watering, cultivating, weeding, pruning, mulching and spraying as necessary to keep plants free of insects and in a healthy, vigorous condition until responsibility is transferred to the owner (see 12. All plant material shall be guaranteed for one (1) year after acceptance by landscape architect and/or owner. After the first thirty (30) days, the owner shall assume maintenance responsibilities as described (see above). Contractor shall replace without cost to owner any dead or unacceptable plants, as determined by the landscape architect at the end of one (1) year guarantee period. Contractor shall notify immediately, in writing, any concerns related to maintenance practices. 13. All planting beds and tree saucers shall be mulched continuous with 3" depth shredded hardwood mulch, see planting details. All deciduous trees (shade / ornamental) that are not located in in a planting bed shall be mulched with a 3'-0" diameter circle. Evergreen trees shall be 14. Planting edge delineation at all planting bed lines and tree saucers shall require a minimum 4" depth "vee" shaped cultivated, spaded edge with a vertical face abutting all lawn areas and sloped to inside of plant bed continuous between lawn and mulched areas as indicated on plan. 15. Contractor to seed all disturbed lawn areas. Seeded lawn to be a combination of bluegrass, perennial rye and red fescue with the suggested following analysis by weight: 30% rugby Kentucky bluegrass, 20% park Kentucky bluegrass, 20% creeping red fescue, 20% scaldis hard fescue, and 10% perennial ryegrass. Seed to be applied at a rate of 4 lbs. per 1,000 s.f.. All seeded lawn areas shall be covered with straw mulch or erosion control netting, consisting of hand or machine application at a rate of 2 ton per acre. Mulch shall be compact enough to reduce erosion of seed and topsoil but loose enough to allow air to circulate. Install per Method 1, Section 251, of the Standard Specifications

16. All seeded turf areas shall be fertilized at installation with 6-20-20 analysis, at a rate of 6 lbs. per 1,000 s.f.. A second application of 21-7-14 to be applied at rate of 6 lbs. per 1,000 s.f. after the first cutting. Acceptance and guarantee notes shall apply to all seeded areas. 17. Acceptance of grading and seed shall be by landscape architect and/or owner. Contractor shall assume maintenance responsibilities for a minimum of sixty (60) days or until second cutting, whichever is longer. Maintenance shall include watering, weeding, re-seeding (wash-offs) and other operations necessary to keep lawn in a thriving condition. Upon final acceptance, owner shall assume all maintenance responsibilities. After lawn areas have germinated, areas which fail to show a uniform stand of grass for any reason whatsoever shall be re-seeded repeatedly until all areas are covered with a satisfactory stand of grass. Minimum acceptance of seeded lawn areas may include scattered bare or dead spots, none of which are larger than one (1) square foot and when combined do not exceed 2% of total lawn area. 18. Contractor to excavate to a minimum depth 12" below finished grade (see grading plan) for the area as noted as "raingarden" and supply and install minimum 12" of special three-part homogenous soil mix consisting of: clean topsoil, compost and sand. 19. Contractor to furnish and install raingarden seed mix in area as noted on plans. Seed to be Rainwater Renewal Mix #RNR from Agrecol Native Nursery, #(608) 223-3571 or approved equal. Hand broadcast and sow per seed manufacturer's specificatons, and rake into soil mix for superior soil to seed contact. Install erosion control blanket over entire seed area. Do not mulch or fertilize.

PLANT LIST

QTY	Botanical name COMMON NAME	SIZE	REMAR
1	Quercus bicolor SWAMP WHITE OAK	2.5"	
3	Aronia melanocarpa 'Morton' IRIQOUIS BEAUTY CHOKEBERRY	24"/ 5 GAL	
6	Calamagrostis acutiflora 'Karl Forster' FEATHER REED GRASS	GAL	3'-0" O.C
5	Echinacea purpurea 'Magnus' PURPLE CONEFLOWER	GAL	2'-0" O.C
5	Ligularia 'Bottle Rocket' BOTTLE ROCKET LIGULARIA	GAL	2'-6" O.C
5	Perovskia atriplicifolia 'Little Spire' LITTLE SPIRE RUSSIAN SAGE	GAL	2'-6" O.C
5	Rudbeckia fulgida 'Goldsturm' BLACK-EYED SUSAN	GAL	2'-0" O.C
5	Salvia x 'East Friesland' EAST FRIESLAND SALVIA	GAL	2'-0" O.C
4	Sporobulus heterolepsis PRAIRIE DROPSEED	GAL	3'-0" O.C
	1 3 6 5 5 5 5 5 5	QTYCOMMON NAME1Quercus bicolor SWAMP WHITE OAK3Aronia melanocarpa 'Morton' IRIQOUIS BEAUTY CHOKEBERRY6Calamagrostis acutiflora 'Karl Forster' FEATHER REED GRASS5Echinacea purpurea 'Magnus' PURPLE CONEFLOWER5Ligularia 'Bottle Rocket' BOTTLE ROCKET LIGULARIA5Perovskia atriplicifolia 'Little Spire' LITTLE SPIRE RUSSIAN SAGE5Rudbeckia fulgida 'Goldsturm' BLACK-EYED SUSAN5Salvia x 'East Friesland' EAST FRIESLAND SALVIA4Sporobulus heterolepsis	QTYCOMMON NAMESIZE1Quercus bicolor SWAMP WHITE OAK2.5"3Aronia melanocarpa 'Morton' IRIQOUIS BEAUTY CHOKEBERRY24"/ 5 GAL6Calamagrostis acutiflora 'Karl Forster' FEATHER REED GRASSGAL5Echinacea purpurea 'Magnus' PURPLE CONEFLOWERGAL5Ligularia 'Bottle Rocket' BOTTLE ROCKET LIGULARIAGAL5Perovskia atriplicifolia 'Little Spire' LITTLE SPIRE RUSSIAN SAGEGAL5Rudbeckia fulgida 'Goldsturm' BLACK-EYED SUSANGAL4Sporobulus heterolepsisGAL

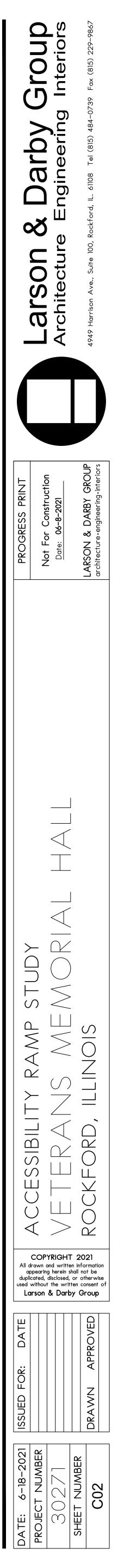


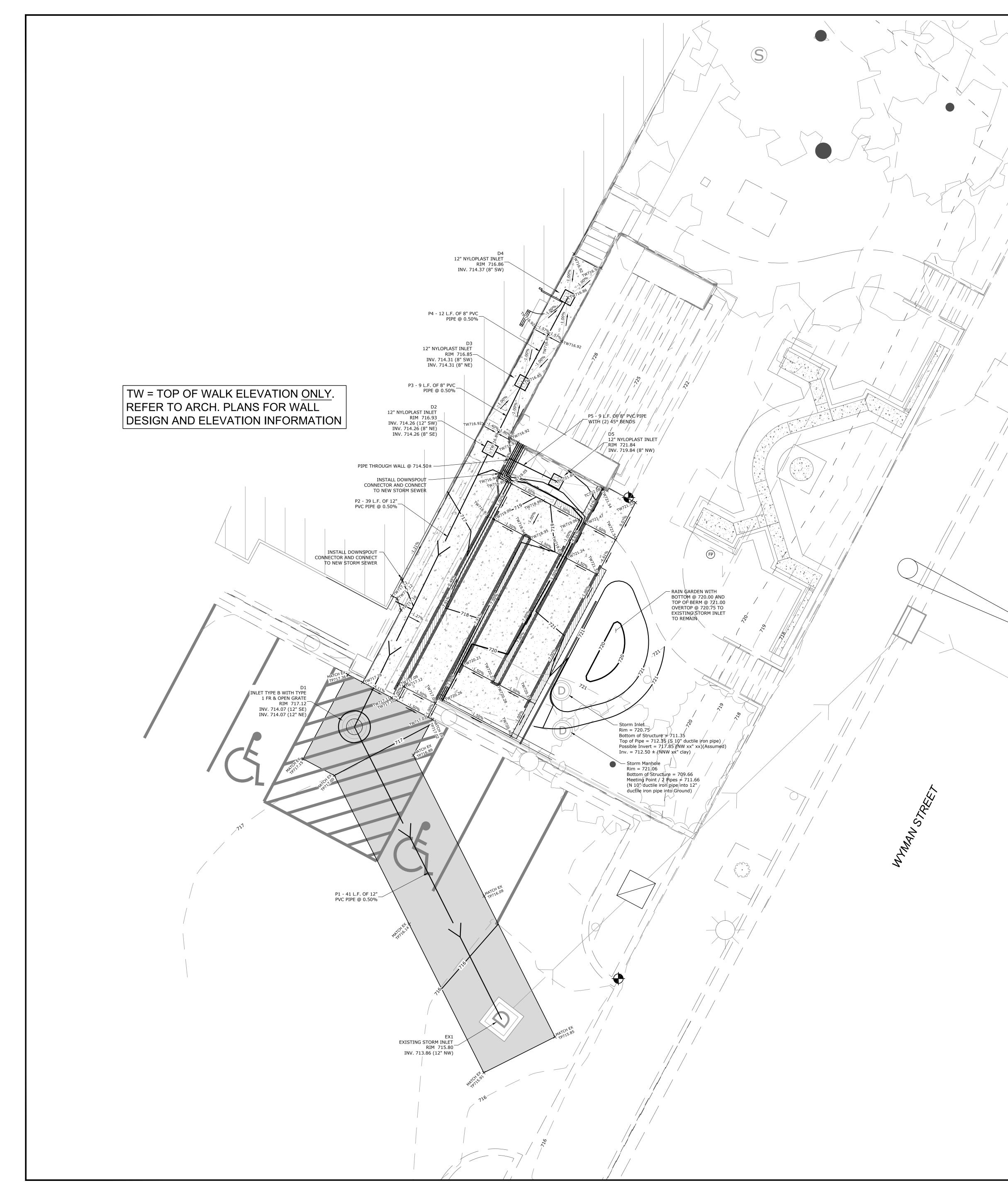


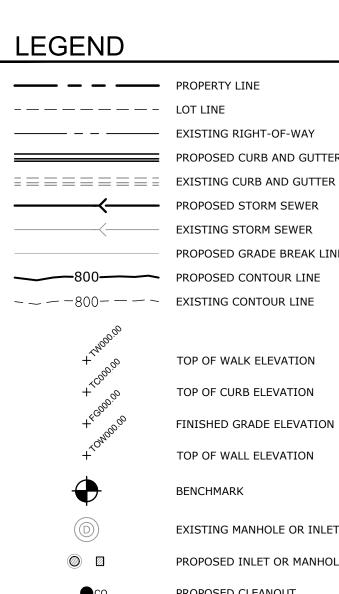
LAYOUT AND LANDSCAPE PLAN

RKS C. - ORN. GRASS . - PERENNIAL C. - PERENNIAL C. - PERENNIAL C. - PERENNIAL C. - PERENNIAL .C. - ORN. GRASS _____

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1.6%

PROPOSED CURB AND GUTTER PROPOSED STORM SEWER EXISTING STORM SEWER PROPOSED GRADE BREAK LINE

TOP OF WALK ELEVATION TOP OF CURB ELEVATION FINISHED GRADE ELEVATION TOP OF WALL ELEVATION

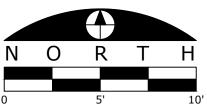
BENCHMARK EXISTING MANHOLE OR INLET PROPOSED INLET OR MANHOLE PROPOSED CLEANOUT

DIRECTION OF SHEET FLOW

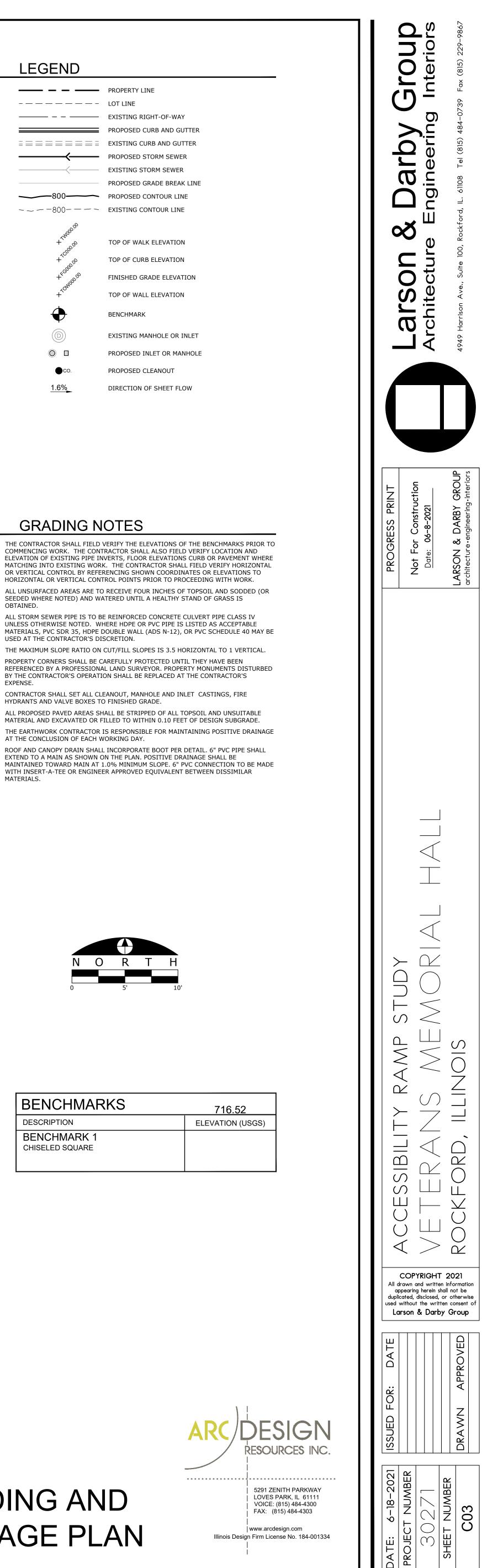
GRADING NOTES

- 1. THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION AND ELEVATION OF EXISTING PIPE INVERTS, FLOOR ELEVATIONS CURB OR PAVEMENT WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL OR VERTICAL CONTROL BY REFERENCING SHOWN COORDINATES OR ELEVATIONS TO HORIZONTAL OR VERTICAL CONTROL POINTS PRIOR TO PROCEEDING WITH WORK. 2. ALL UNSURFACED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL AND SODDED (OR
- OBTAINED. 3. ALL STORM SEWER PIPE IS TO BE REINFORCED CONCRETE CULVERT PIPE CLASS IV UNLESS OTHERWISE NOTED. WHERE HDPE OR PVC PIPE IS LISTED AS ACCEPTABLE
- MATERIALS, PVC SDR 35, HDPE DOUBLE WALL (ADS N-12), OR PVC SCHEDULE 40 MAY BE USED AT THE CONTRACTOR'S DISCRETION. 4. THE MAXIMUM SLOPE RATIO ON CUT/FILL SLOPES IS 3.5 HORIZONTAL TO 1 VERTICAL.
- 5. PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- 6. CONTRACTOR SHALL SET ALL CLEANOUT, MANHOLE AND INLET CASTINGS, FIRE HYDRANTS AND VALVE BOXES TO FINISHED GRADE.
- 7. ALL PROPOSED PAVED AREAS SHALL BE STRIPPED OF ALL TOPSOIL AND UNSUITABLE MATERIAL AND EXCAVATED OR FILLED TO WITHIN 0.10 FEET OF DESIGN SUBGRADE. 8. THE EARTHWORK CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE
- AT THE CONCLUSION OF EACH WORKING DAY. 9. ROOF AND CANOPY DRAIN SHALL INCORPORATE BOOT PER DETAIL. 6" PVC PIPE SHALL EXTEND TO A MAIN AS SHOWN ON THE PLAN. POSITIVE DRAINAGE SHALL BE MAINTAINED TOWARD MAIN AT 1.0% MINIMUM SLOPE. 6" PVC CONNECTION TO BE MADE WITH INSERT-A-TEE OR ENGINEER APPROVED EQUIVALENT BETWEEN DISSIMILAR

MATERIALS.



BENCHMARKS	- / 0 - 0
	716.52
DESCRIPTION	ELEVATION (USGS)
BENCHMARK 1	
CHISELED SQUARE	



GRADING AND DRAINAGE PLAN

