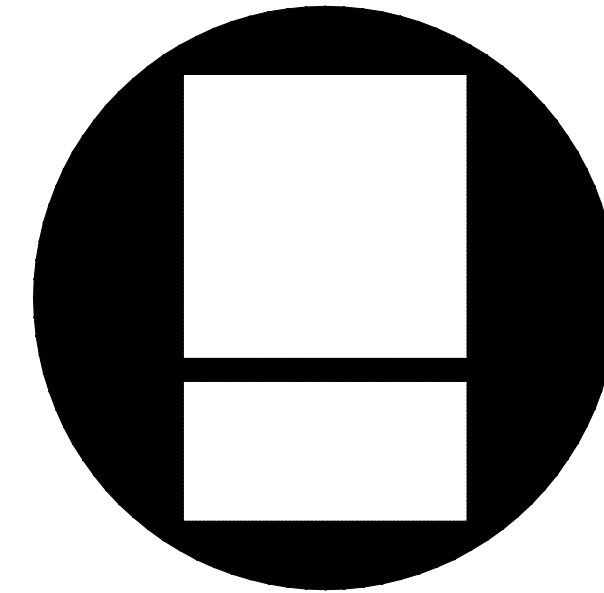


EXTERIOR MAINTENANCE REPAIR WORK FOR: VETERANS MEMORIAL HALL

WINNEBAGO COUNTY

BID # 21B-2226

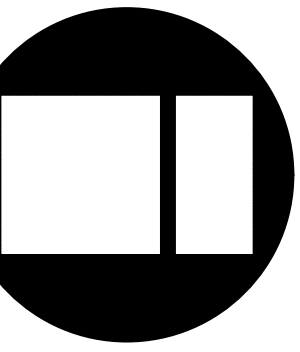


Larson & Darby Group

Architecture Engineering Interiors

4949 Harrison Avenue Suite 100 Rockford, Illinois

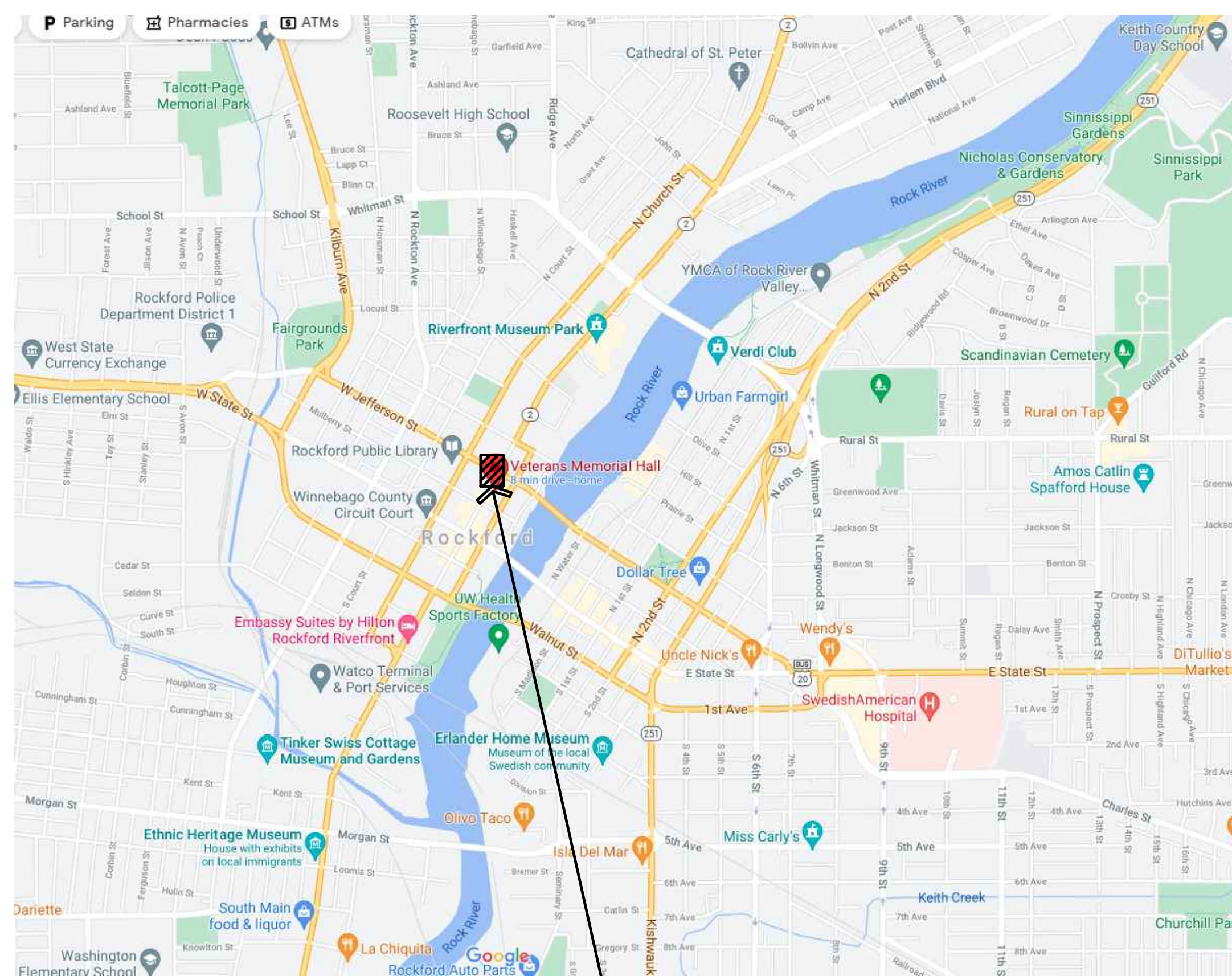
Larson & Darby Group
Architecture Engineering Interiors
4949 Harrison Ave., Suite 100, Rockford, IL 61008 Tel: (815) 484-0739 Fax: (815) 229-9867



ISSUED FOR: BIDDING

AUGUST 13, 2021

PROJECT LOCATION MAP



PROJECT LOCATION
211 N. MAIN STREET, ROCKFORD, ILLINOIS



SHEET INDEX

NO.	DESCRIPTION
CS	PROJECT COVER SHEET & LOCATION MAP (THIS SHEET)
	ARCHITECTURAL
A3.1	OVERALL EXTERIOR ELEVATIONS
A3.2	SOUTH EXTERIOR ELEVATION
A3.3	WEST EXTERIOR ELEVATION
A3.4	NORTH EXTERIOR ELEVATION
A3.5	EAST EXTERIOR ELEVATION
A3.6	WEST MAIN EXTERIOR STAIR
A3.7	EAST MAIN EXTERIOR STAIR

CODE COMPLIANCE NOTES

NOTES REGARDING PERMIT FOR THIS WORK:
DUE TO THE BASIC MAINTENANCE & REPAIR NATURE OF THIS PROJECT, THE CITY OF ROCKFORD HAS STATED THAT THESE PLANS WILL NOT BE REQUIRED TO BE SUBMITTED FOR PLAN REVIEW.
THEY WILL ONLY REQUIRE A "SIDING PERMIT" BE SECURED BY THE CONTRACTOR.
THE OWNER WILL REIMBURSE THE CONTRACTOR FOR THIS SIDING PERMIT COST AS A CONTINGENCY ITEM AND THE CONTRACTOR WILL NOT BE REQUIRED TO WORRY ABOUT INCLUDING IT INITIALLY IN THEIR BID. THE CONTRACTOR MUST SUBMIT COPIES OF THE SIDING PERMIT PAPERWORK AND RECEIPT OF THE PAYMENT COST TO THE OWNER FOR REIMBURSEMENT TO THE CONTRACTOR THRU A CHANGE ORDER DOCUMENT.

GENERAL

EXTERIOR MAINTENANCE REPAIR WORK FOR:
VETERANS MEMORIAL HALL
ROCKFORD, ILLINOIS

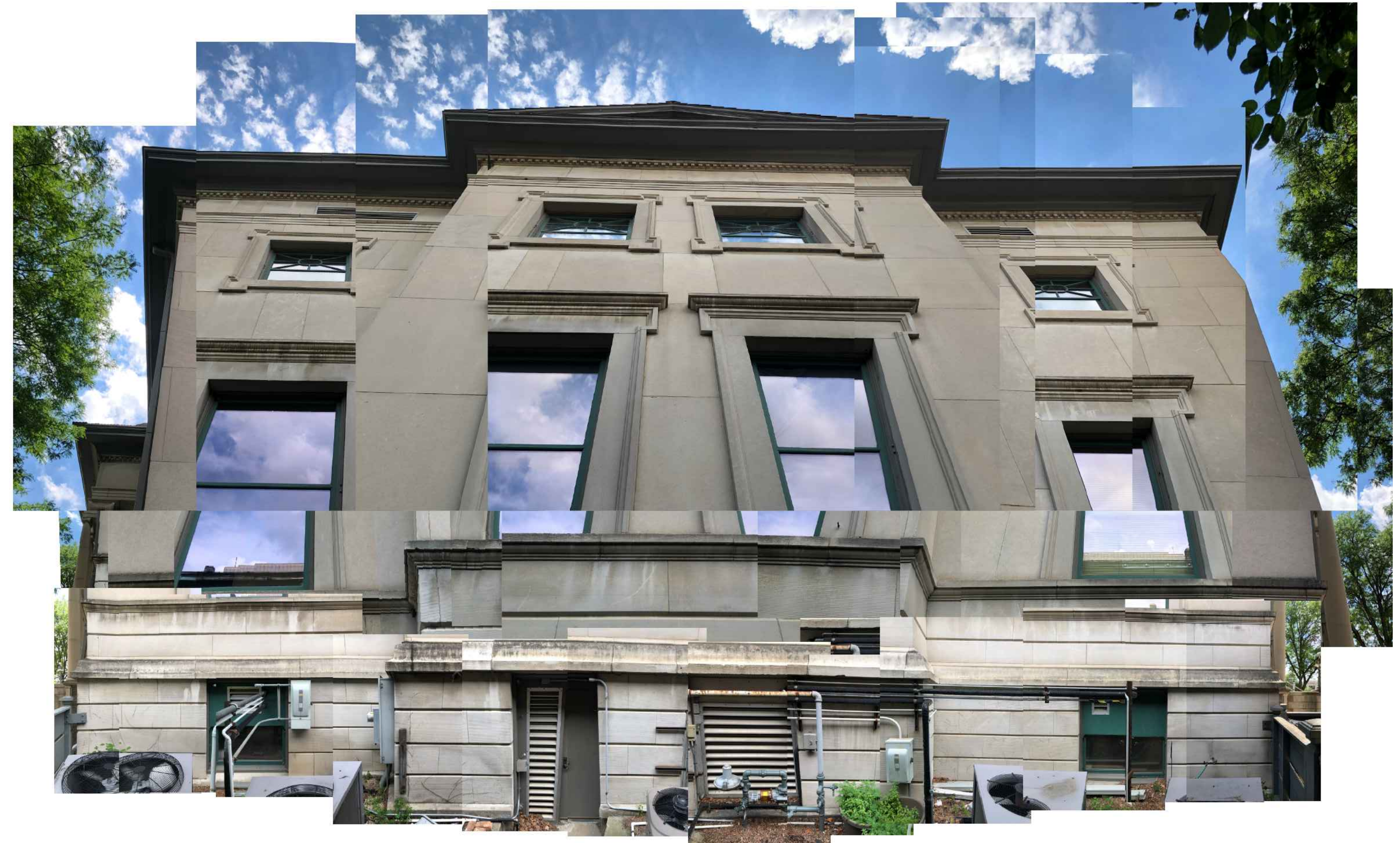
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ISSUED FOR: DATE
DRAWN: APPROVED
JIC JFW

DATE: 08-13-2021
PROJECT NUMBER: 30271-2
SHEET NUMBER: CS.1



SOUTH ELEVATION



NORTH ELEVATION

[NOTE: THIS IS AN APPROXIMATE COMPOSITE IMAGE OF THE NORTH ELEVATION ONLY FOR GENERAL REFERENCE PURPOSES DUE TO THE INABILITY TO FULLY PHOTOGRAPH THIS OVERALL AREA. THE CONTRACTOR SHALL VISIT THE SITE AND CAREFULLY EXAMINE ALL AREAS PRIOR TO BIDDING. SEE FOCUSED VIEWS FOR ACTUAL IMAGES OF AREAS OF THIS FACADE ON OTHER SHEETS.]



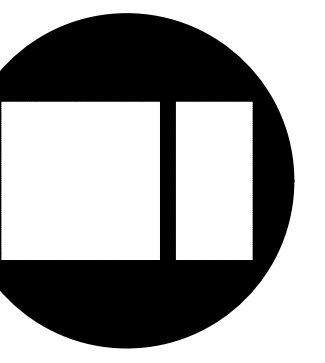
EAST ELEVATION



WEST ELEVATION

OVERALL EXTERIOR ELEVATIONS

NO SCALE



EXTERIOR MAINTENANCE REPAIR WORK FOR:
VETERANS MEMORIAL HALL
ROCKFORD, ILLINOIS

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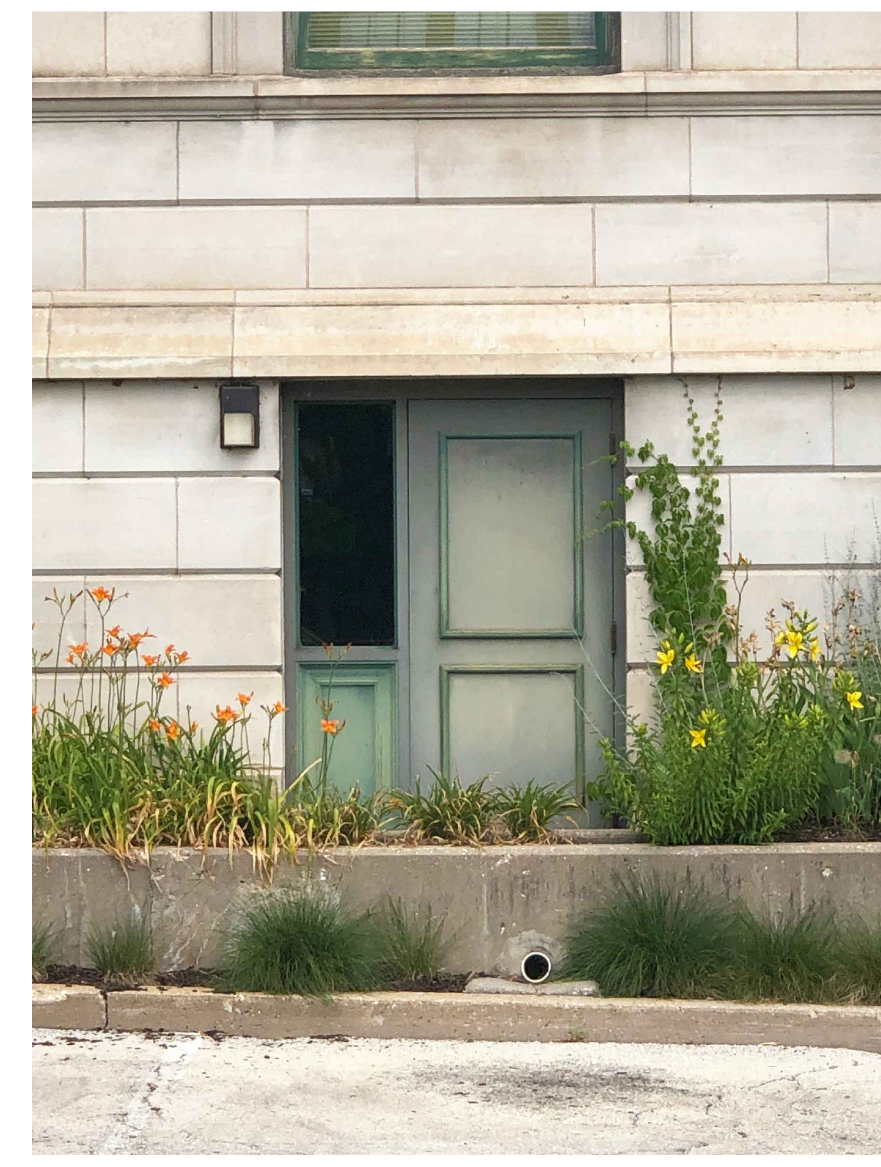
DATE: 08-18-2021
PROJECT NUMBER: 30271-2
SHEET NUMBER: A3.1



1
OBSERVATION:
BOTH GREEN & GRAY WINDOW PAINT ARE PEELING & FADING
RECOMMENDATION:
SURFACE PREPARATION FOR MPI DSD 2
REMOVE & REPLACE DETERIORATED PERIMETER SEALANT



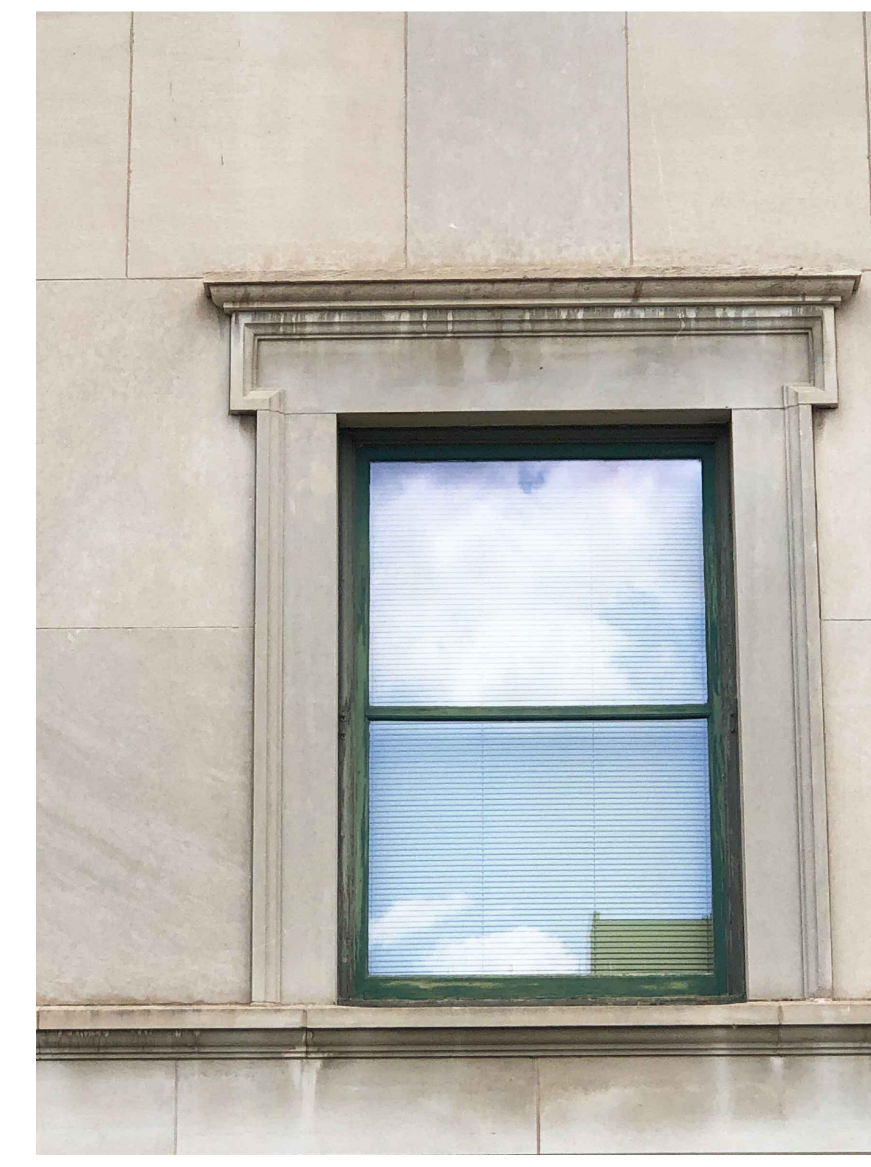
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OBSERVATION:
BOTH GREEN & GRAY WINDOW PAINT ARE PEELING & FADING
RECOMMENDATION:
SURFACE PREPARATION FOR MPI DSD 2
REMOVE & REPLACE DETERIORATED PERIMETER SEALANT



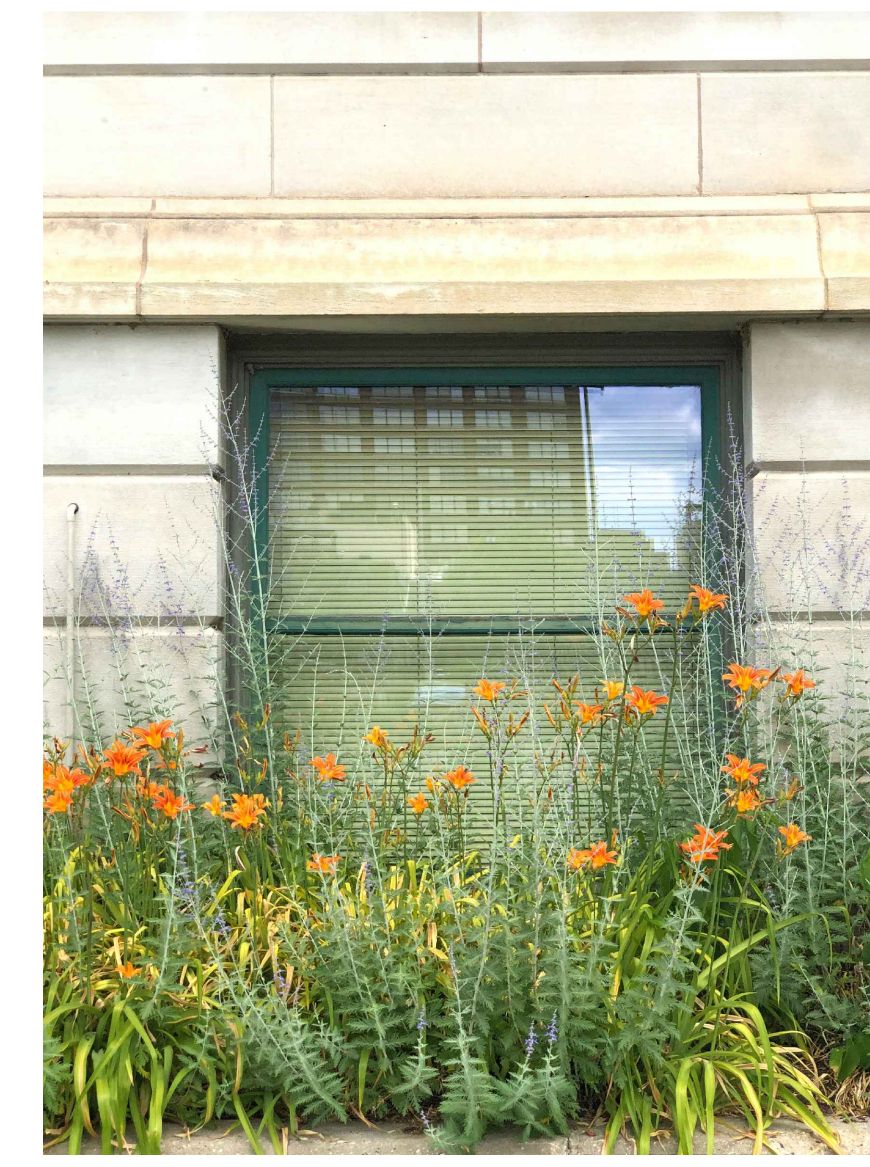
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DOOR, FRAME & SIDELITE TO BE
REPAIRED AND FINISHED BY
OWNER
(NOT IN CONTRACT)



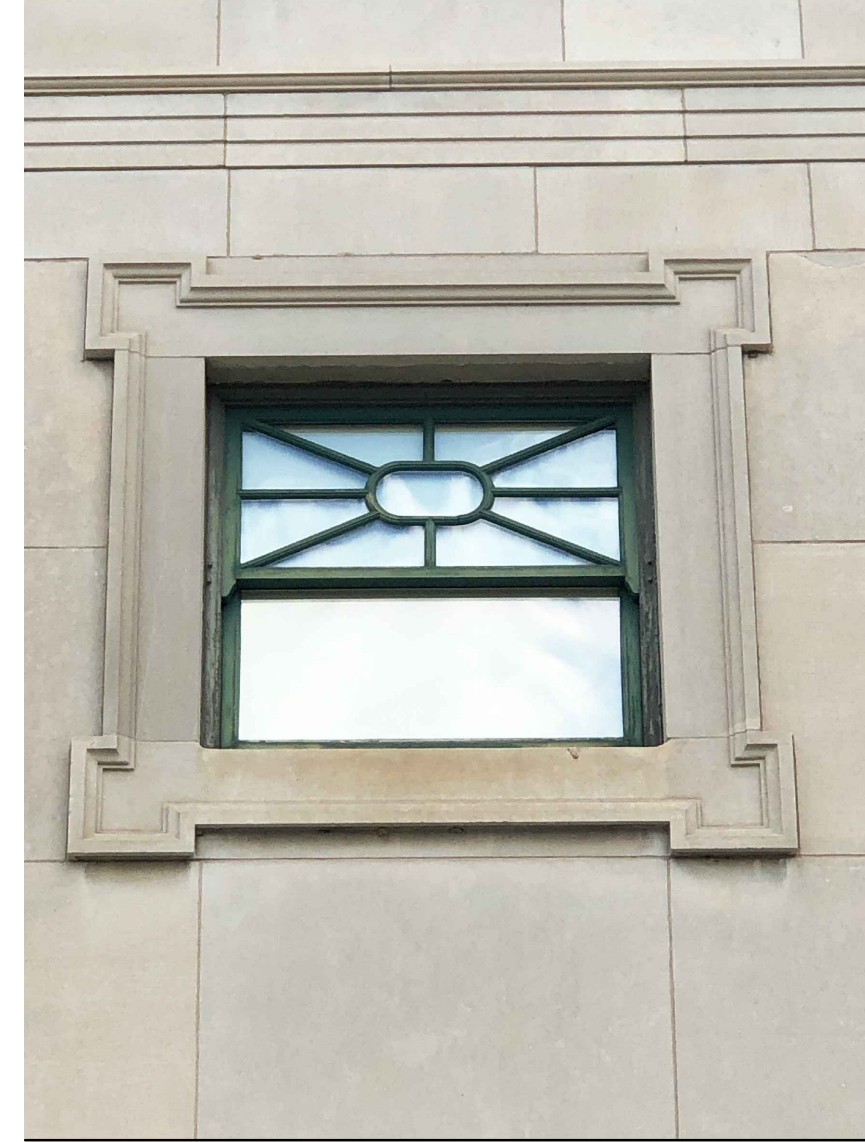
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OBSERVATION:
BOTH GREEN & GRAY WINDOW PAINT ARE PEELING & FADING
RECOMMENDATION:
SURFACE PREPARATION FOR MPI DSD 2
REMOVE & REPLACE DETERIORATED PERIMETER SEALANT



5
OBSERVATION:
BOTH GREEN & GRAY WINDOW PAINT ARE PEELING & FADING
RECOMMENDATION:
SURFACE PREPARATION FOR MPI DSD 2
REMOVE & REPLACE DETERIORATED PERIMETER SEALANT



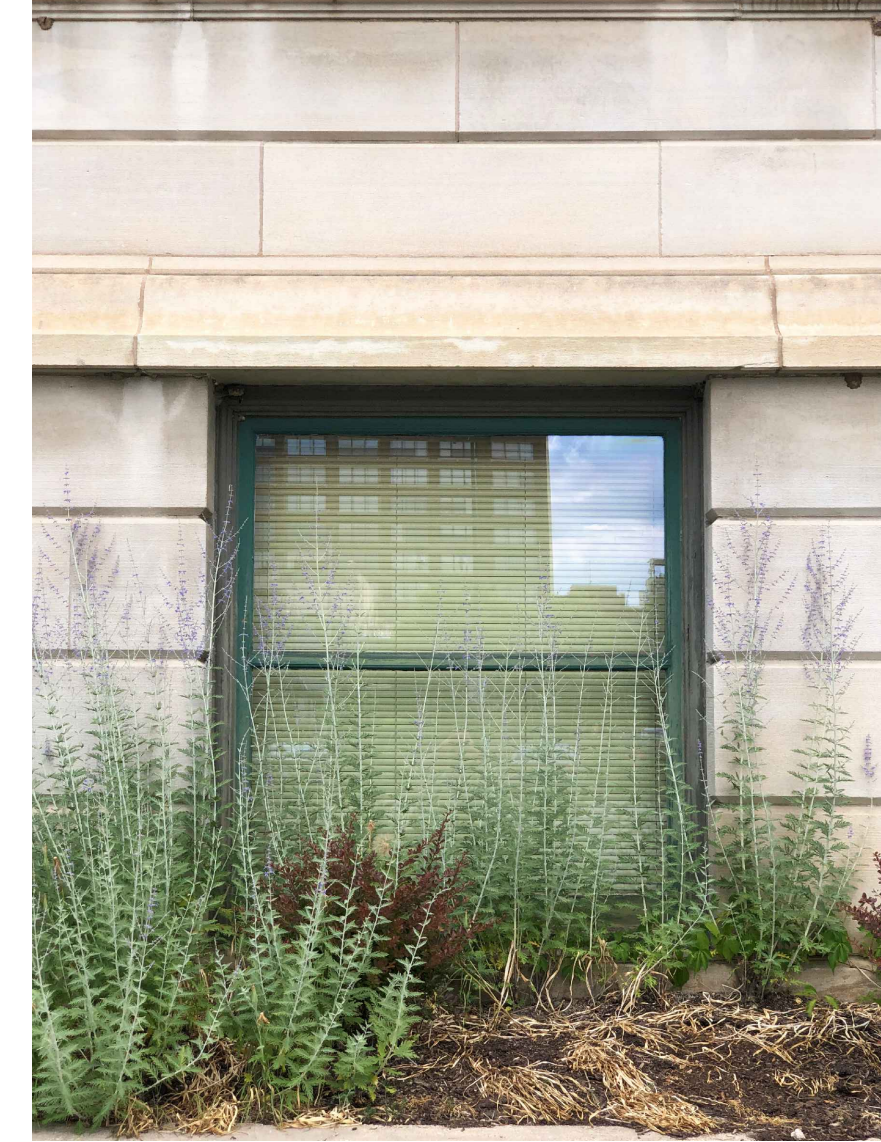
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OBSERVATION:
BOTH GREEN & GRAY WINDOW PAINT ARE PEELING & FADING
RECOMMENDATION:
SURFACE PREPARATION FOR MPI DSD 3
REMOVE & REPLACE DETERIORATED PERIMETER SEALANT



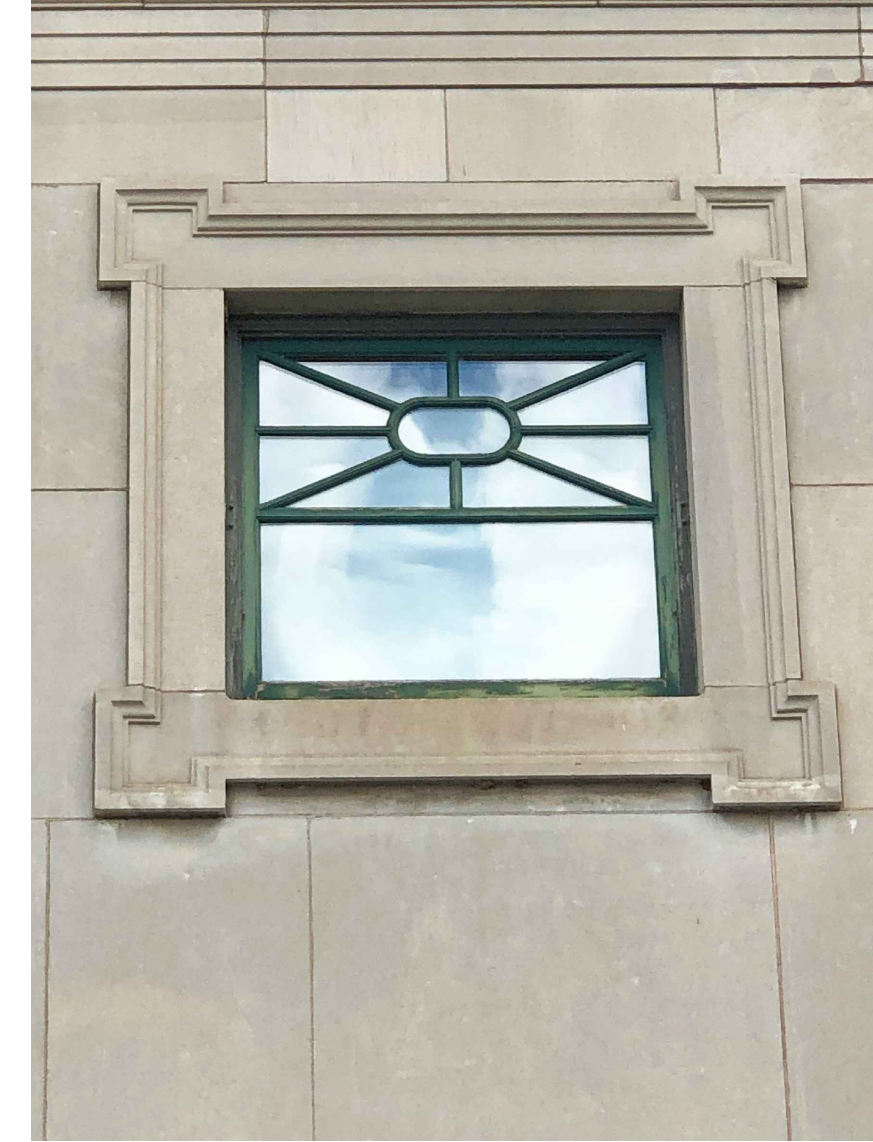
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OBSERVATION:
BOTH GREEN & GRAY WINDOW PAINT ARE PEELING & FADING
RECOMMENDATION:
SURFACE PREPARATION FOR MPI DSD 2
REMOVE & REPLACE DETERIORATED PERIMETER SEALANT



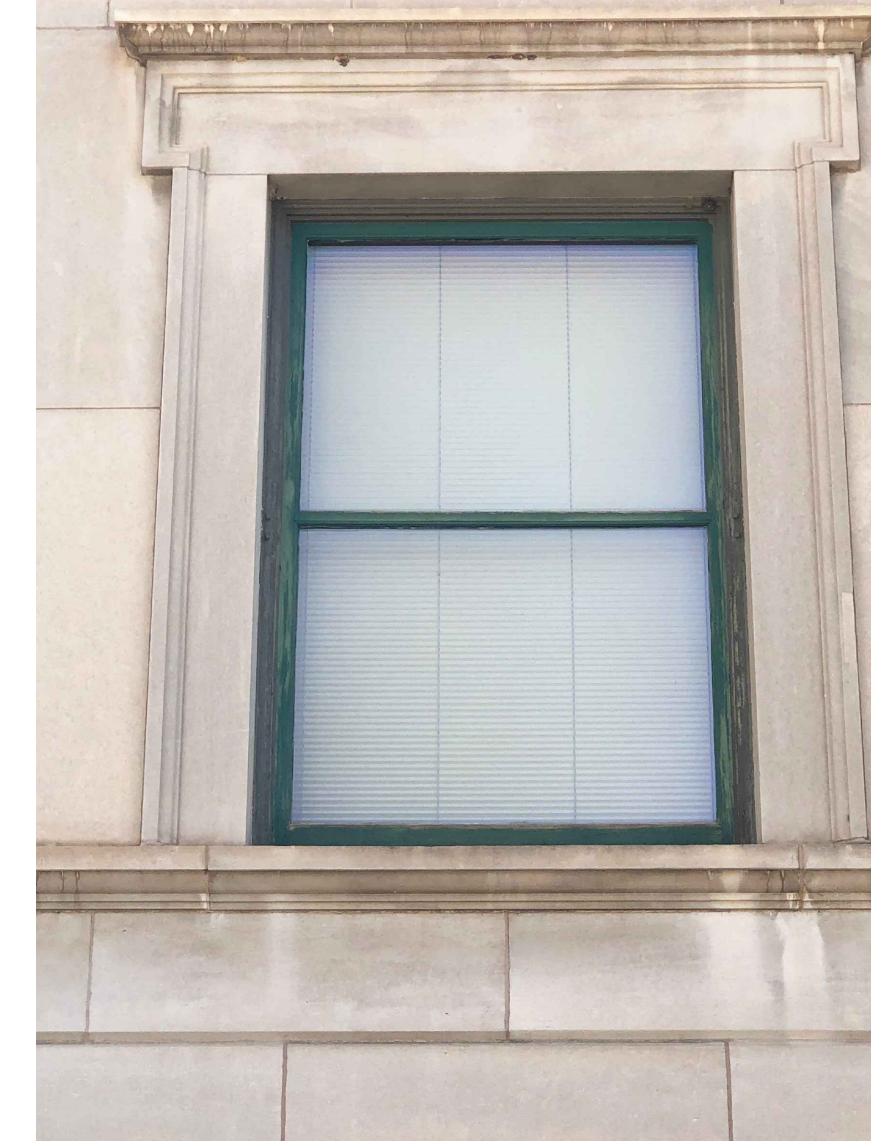
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OBSERVATION:
BOTH GREEN & GRAY WINDOW PAINT ARE PEELING & FADING
RECOMMENDATION:
SURFACE PREPARATION FOR MPI DSD 2
REMOVE & REPLACE DETERIORATED PERIMETER SEALANT



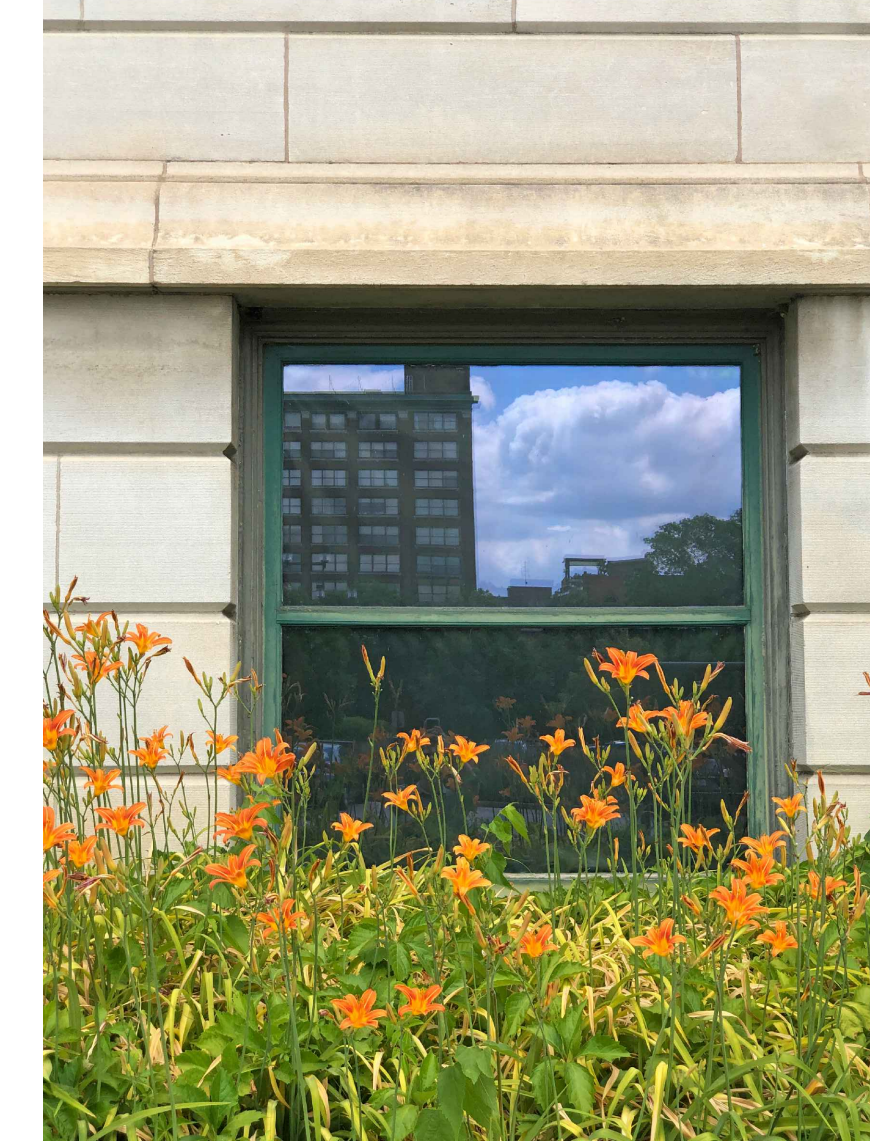
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OBSERVATION:
BOTH GREEN & GRAY WINDOW PAINT ARE PEELING & FADING
RECOMMENDATION:
SURFACE PREPARATION FOR MPI DSD 3
REMOVE & REPLACE DETERIORATED PERIMETER SEALANT



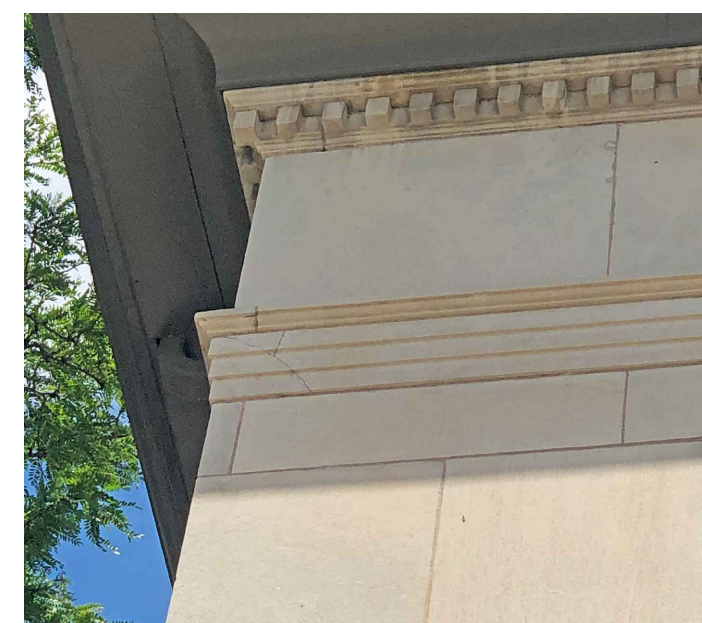
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OBSERVATION:
BOTH GREEN & GRAY WINDOW PAINT ARE PEELING & FADING
RECOMMENDATION:
SURFACE PREPARATION FOR MPI DSD 2
REMOVE & REPLACE DETERIORATED PERIMETER SEALANT



11
OBSERVATION:
BOTH GREEN & GRAY WINDOW PAINT ARE PEELING & FADING
RECOMMENDATION:
SURFACE PREPARATION FOR MPI DSD 2
REMOVE & REPLACE DETERIORATED PERIMETER SEALANT



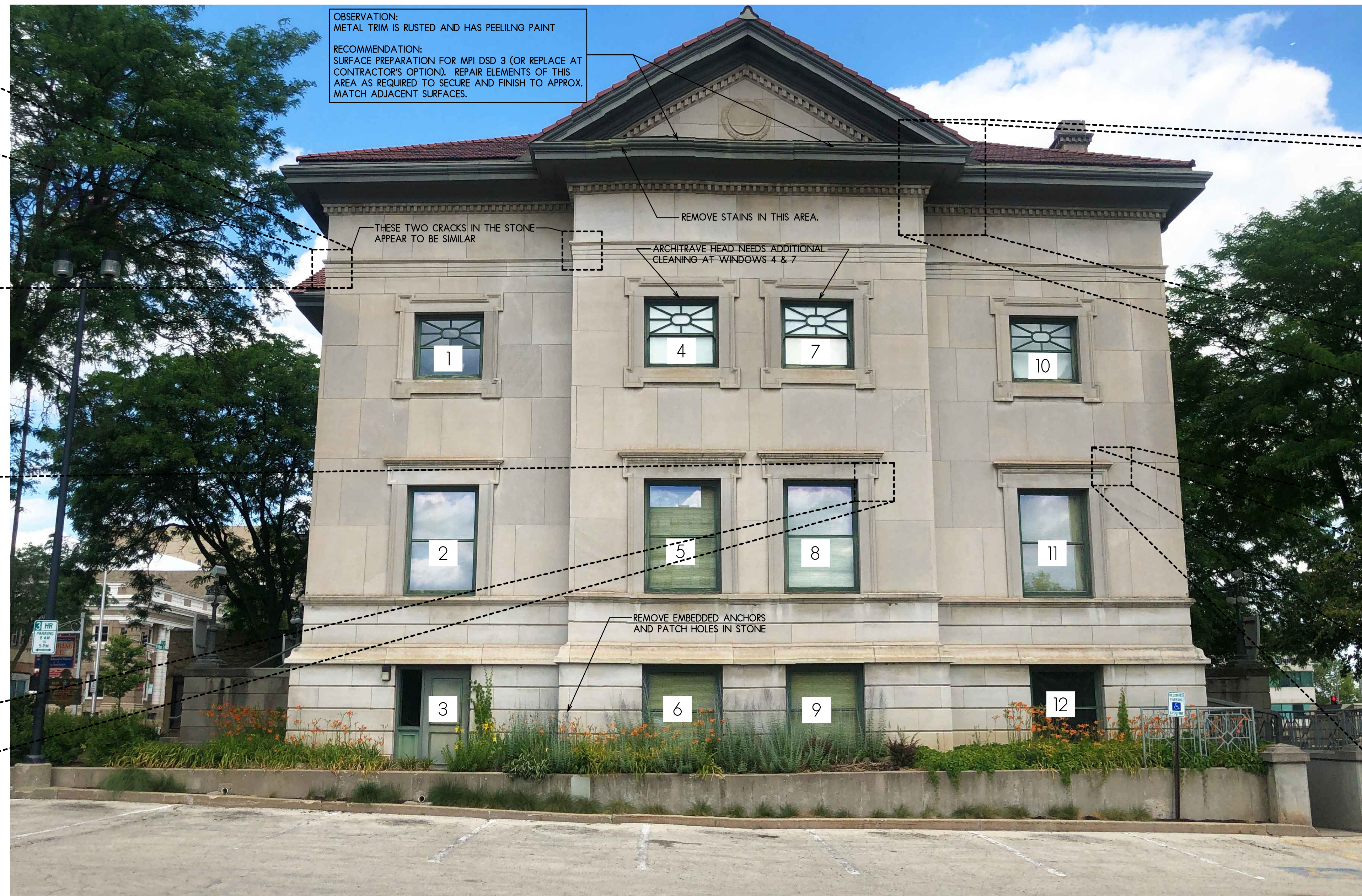
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OBSERVATION:
BOTH GREEN & GRAY WINDOW PAINT ARE PEELING & FADING
RECOMMENDATION:
SURFACE PREPARATION FOR MPI DSD 3
REMOVE & REPLACE DETERIORATED PERIMETER SEALANT



OBSERVATION:
STONE UNIT IS CRACKED WITH SOME DISPLACEMENT.
RECOMMENDATION:
DETERMINE IF PIECE OF STONE IS LOOSE AND IN DANGER OF
FALLING OUT. IF CRACKED PIECE IS LOOSE, REPAIR BY SURFACE
PATCHING. IF CRACKED PORTION IS SOUND, REPAIR CRACK.



OBSERVATION:
STONE UNIT IS CRACKED WITH NO APPARENT
DISPLACEMENT.
RECOMMENDATION:
REPAIR CRACK.



OBSERVATION:
METAL TRIM IS RUSTED AND HAS PEELING PAINT
RECOMMENDATION:
SURFACE PREPARATION FOR MPI DSD 3 (OR REPLACE AT
CONTRACTOR'S OPTION). REPAIR ELEMENTS OF THIS
AREA AS REQUIRED TO SECURE AND FINISH TO APPROX.
MATCH ADJACENT SURFACES.

THESE TWO CRACKS IN THE STONE
APPEAR TO BE SIMILAR

REMOVE STAINS IN THIS AREA.

ARCHITRAVE HEAD NEEDS ADDITIONAL
CLEANING AT WINDOWS 4 & 7

REMOVE EMBEDDED ANCHORS
AND PATCH HOLES IN STONE

OBSERVATION:
SOFFIT AND FASCIA ARE DETACHED FROM THE SUBSTRATE.
RECOMMENDATION:
SECURE SOFFIT AND FASCIA TO SUBSTRATE. ADD RETAINER
CLIPS & FASTENERS AS REQUIRED TO MAKE SECURE AND
IMPROVE FINISH APPEARANCE TO APPROXIMATELY MATCH
ADJACENT EXISTING SURFACES.

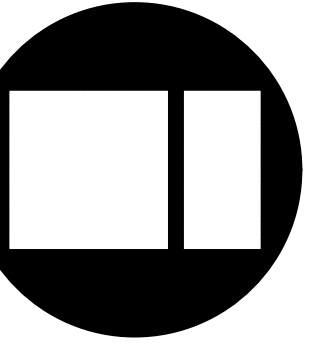
OBSERVATION:
STONE UNIT IS CRACKED WITH SOME DISPLACEMENT.
RECOMMENDATION:
DETERMINE IF PIECE OF STONE IS LOOSE AND IN DANGER OF
FALLING OUT. IF CRACKED PIECE IS LOOSE, REPAIR BY SURFACE
PATCHING. IF CRACKED PORTION IS SOUND, REPAIR CRACK.

GENERAL NOTES

- REFER TO THE BID FORM FOR DESCRIPTIONS OF WORK EACH AREA. THE OVERALL SCOPE OF WORK WILL BE LIMITED DUE TO BUDGET CONSTRAINTS AND WILL GENERALLY INVOLVE:
 - CLEANING EXTERIOR FACADE AND POWER WASHING
 - LIMITED TUCK-POINTING
 - PREP WORK AND PAINTING EXTERIOR WINDOWS AND DOOR, (EXCEPT NO DOORS ON EAST ARE TO BE INCLUDED BUT INCLUDE DOOR FRAMES)
 - FILLING DOWNSPOUT HOLES, PRIMING AND PAINTING
 - REPLACING SOME OUTER ANCHORS
 - REPAIRING BROKEN STONE WALL PANELS
 - REPLACING SOME STONE STEPS
 - MISC METAL FASCIA/SOFFIT REPAIRS AND PAINTING
 - PREPPING, PRIMING AND PAINTING HANDRAILS AND 4 DECORATIVE LIGHT POSTS
 - OTHER MISCELLANEOUS RELATED WORK.
- THE CONTRACTOR MUST VISIT THE SITE PRIOR TO BIDDING AND CAREFULLY EXAMINE AND MEASURE ALL AFFECTED AREAS AS REQUIRED.
- THE CONTRACTOR MAY TRIM-BACK PLANTINGS AS REQUIRED TO PERFORM THE WORK. TAKING CARE NOT TO DESTROY SIGNIFICANT PLANTINGS.
- REMOVE ALL WASP NESTS AND MISC VINES GROWING ON THE BUILDING FACADE IN AFFECTED AREAS.
- CLEAN-UP WORK AREAS AT THE END OF EACH WORK DAY AND PERFORM FINAL CLEANING AT END OF PROJECT.
- CAREFULLY COORDINATE WORK WITH THE OWNER, COORDINATE AND COOPERATE WITH OTHER WORK WHICH MAY BE TAKING PLACE SIMULTANEOUSLY ON-SITE.
- REMEMBER: DO NOT BE OVERLY AGGRESSIVE WITH POWER WASHING TO AVOID DAMAGE TO MATERIALS.
- SEE THE PROJECT MANUAL FOR ADDITIONAL NOTES AND INFORMATION.
- SEE PROJECT MANUAL SECTION 09 01 90.52 MAINTENANCE REPAIRING FOR DESCRIPTION OF VARIOUS DEGREES OF SURFACE DEGRADATION (DSD).

SOUTH EXTERIOR ELEVATION

NO SCALE

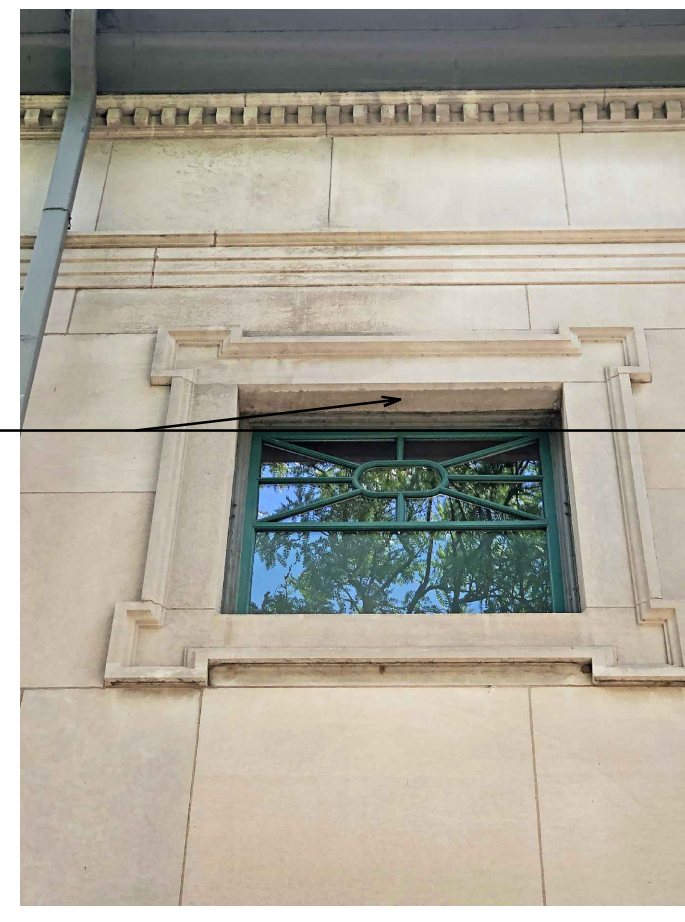


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ISSUED FOR:	DATE:	DRAWN:	APPROVED:
PROJECT NUMBER:		RJC	JFW
30271-2			
SHEET NUMBER:			
A3.2			

OBSERVATION:
ARCHITRAVE HEAD APPEARS TO BE DISCOLORED

RECOMMENDATION:
EXAMINE CONDITION OF STONE TO DETERMINE IF SURFACE REPAIR IS REQUIRED



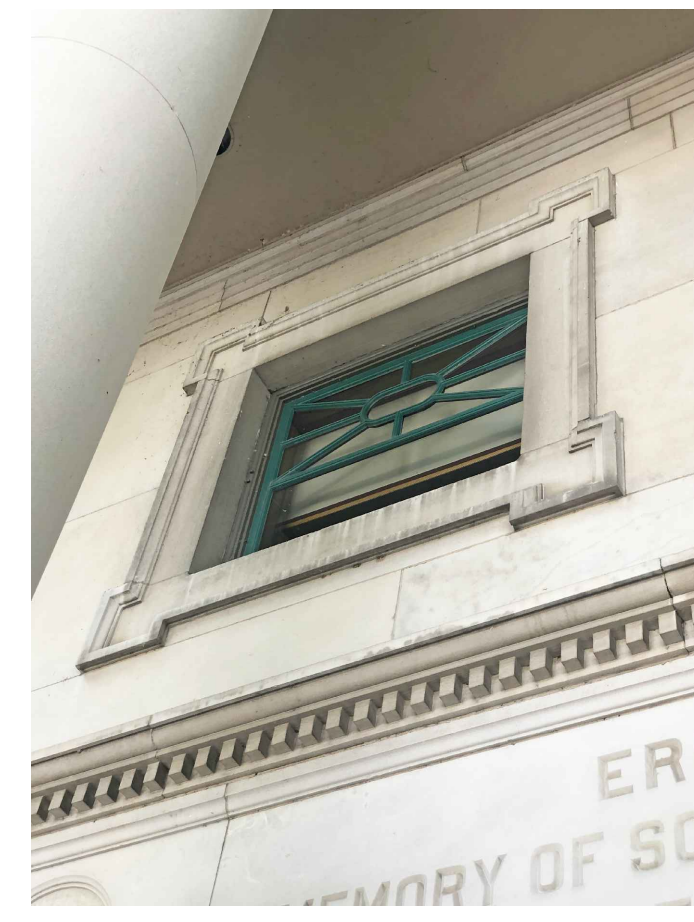
13
OBSERVATION:
BOTH GREEN & GRAY WINDOW PAINT ARE PEELING & FADING

RECOMMENDATION:
SURFACE PREPARATION FOR MPI DSD 2
REMOVE & REPLACE DETERIORATED PERIMETER SEALANT



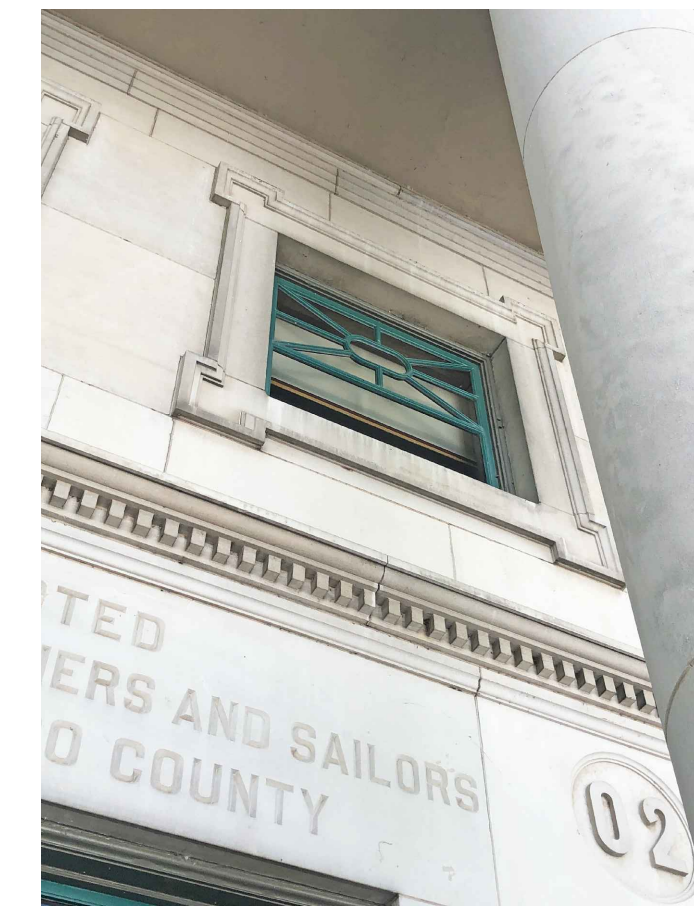
16
OBSERVATION:
BOTH GREEN & GRAY WINDOW PAINT ARE PEELING & FADING

RECOMMENDATION:
SURFACE PREPARATION FOR MPI DSD 2
REMOVE & REPLACE DETERIORATED PERIMETER SEALANT



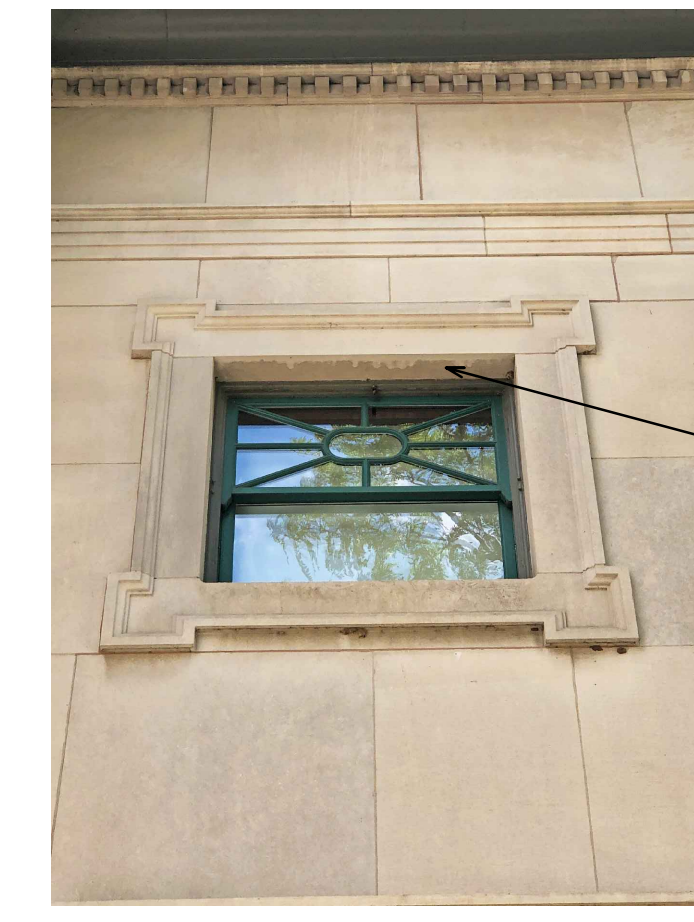
19
OBSERVATION:
BOTH GREEN & GRAY WINDOW PAINT ARE PEELING & FADING

RECOMMENDATION:
SURFACE PREPARATION FOR MPI DSD 2
REMOVE & REPLACE DETERIORATED PERIMETER SEALANT



21
OBSERVATION:
BOTH GREEN & GRAY WINDOW PAINT ARE PEELING & FADING

RECOMMENDATION:
SURFACE PREPARATION FOR MPI DSD 2
REMOVE & REPLACE DETERIORATED PERIMETER SEALANT



23
OBSERVATION:
BOTH GREEN & GRAY WINDOW PAINT ARE PEELING & FADING

RECOMMENDATION:
SURFACE PREPARATION FOR MPI DSD 2
REMOVE & REPLACE DETERIORATED PERIMETER SEALANT



26
OBSERVATION:
BOTH GREEN & GRAY WINDOW PAINT ARE PEELING & FADING

RECOMMENDATION:
SURFACE PREPARATION FOR MPI DSD 2
REMOVE & REPLACE DETERIORATED PERIMETER SEALANT

OBSERVATION:
EXTENSIVE PEELING PAINT THROUGHOUT SOFFIT

RECOMMENDATION:
SURFACE PREPARATION FOR MPI DSD 3

OBSERVATION:
ARCHITRAVE HEAD APPEARS TO BE DISCOLORED

RECOMMENDATION:
EXAMINE CONDITION OF STONE TO DETERMINE IF SURFACE REPAIR IS REQUIRED



OBSERVATION:
RUST STAIN AND PEELING PAINT

RECOMMENDATION:
SURFACE PREPARATION FOR MPI DSD 3

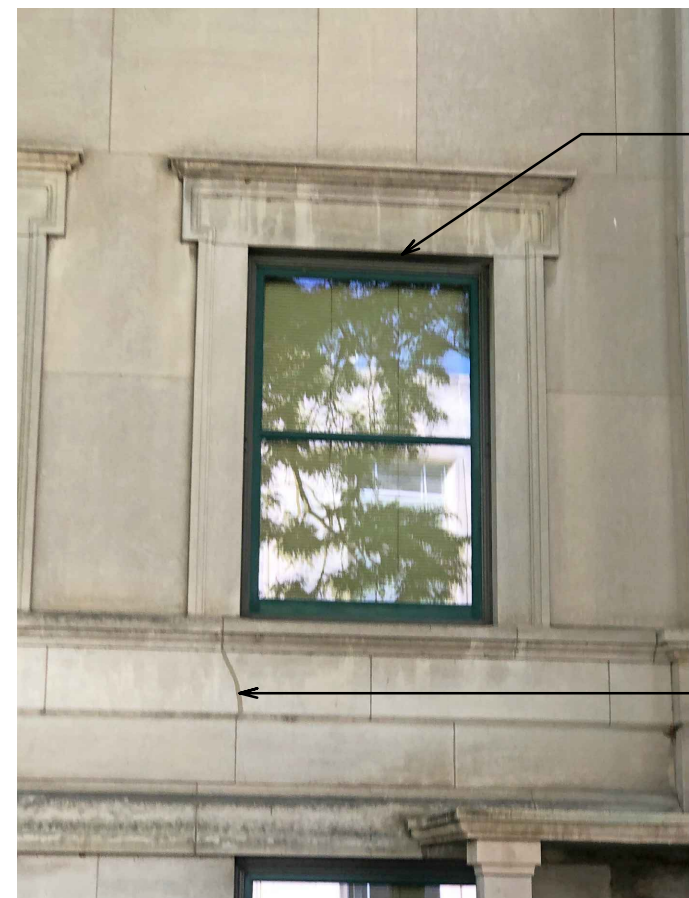


ARCHITRAVE HEAD NEEDS ADDITIONAL CLEANING

OBSERVATION:
BOTH GREEN & GRAY WINDOW PAINT ARE PEELING & FADING

RECOMMENDATION:
SURFACE PREPARATION FOR MPI DSD 2
REMOVE & REPLACE DETERIORATED PERIMETER SEALANT

14



ARCHITRAVE HEAD NEEDS ADDITIONAL CLEANING

OBSERVATION:
BOTH GREEN & GRAY WINDOW PAINT ARE PEELING & FADING

RECOMMENDATION:
SURFACE PREPARATION FOR MPI DSD 2
REMOVE & REPLACE DETERIORATED PERIMETER SEALANT

OBSERVATION:
PREVIOUSLY REPAIRED STONE DAMAGE

RECOMMENDATION:
NO REPAIR REQUIRED

17



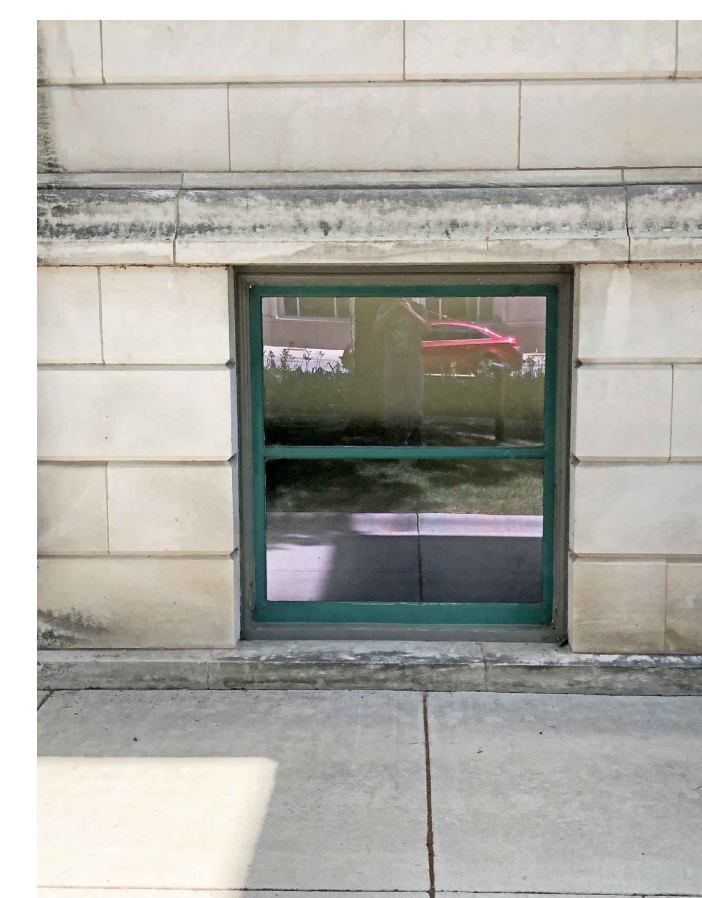
OBSERVATION:
GREEN WINDOW PAINT IS OK
GRAY WINDOW PAINT IS PEELING

RECOMMENDATION:
SURFACE PREPARATION FOR MPI DSD 2
REMOVE & REPLACE DETERIORATED PERIMETER SEALANT

20

OBSERVATION:
BOTH GREEN & GRAY WINDOW PAINT ARE PEELING & FADING

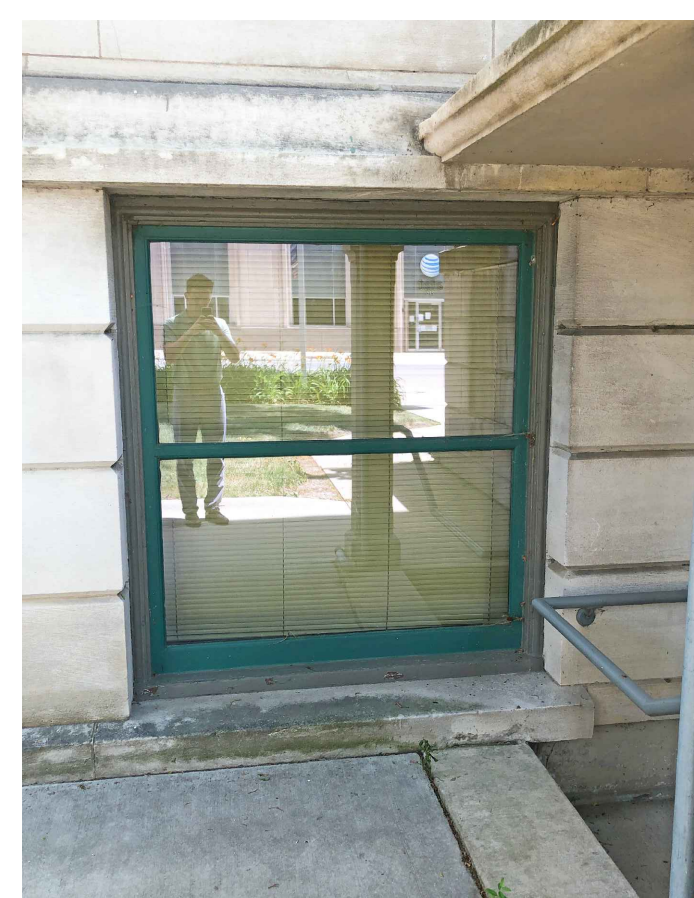
RECOMMENDATION:
SURFACE PREPARATION FOR MPI DSD 3
REMOVE & REPLACE DETERIORATED PERIMETER SEALANT



15

OBSERVATION:
BOTH GREEN & GRAY WINDOW PAINT ARE PEELING & FADING

RECOMMENDATION:
SURFACE PREPARATION FOR MPI DSD 3
REMOVE & REPLACE DETERIORATED PERIMETER SEALANT



18

OBSERVATION:
GREEN WINDOW PAINT IS OK
GRAY WINDOW PAINT IS PEELING

RECOMMENDATION:
SURFACE PREPARATION FOR MPI DSD 2
REMOVE & REPLACE DETERIORATED PERIMETER SEALANT



29

OBSERVATION:
BOTH GREEN & GRAY WINDOW PAINT ARE PEELING

RECOMMENDATION:
SURFACE PREPARATION FOR MPI DSD 2
REMOVE & REPLACE DETERIORATED PERIMETER SEALANT



30

OBSERVATION:
BOTH GREEN & GRAY WINDOW PAINT ARE PEELING & FADING

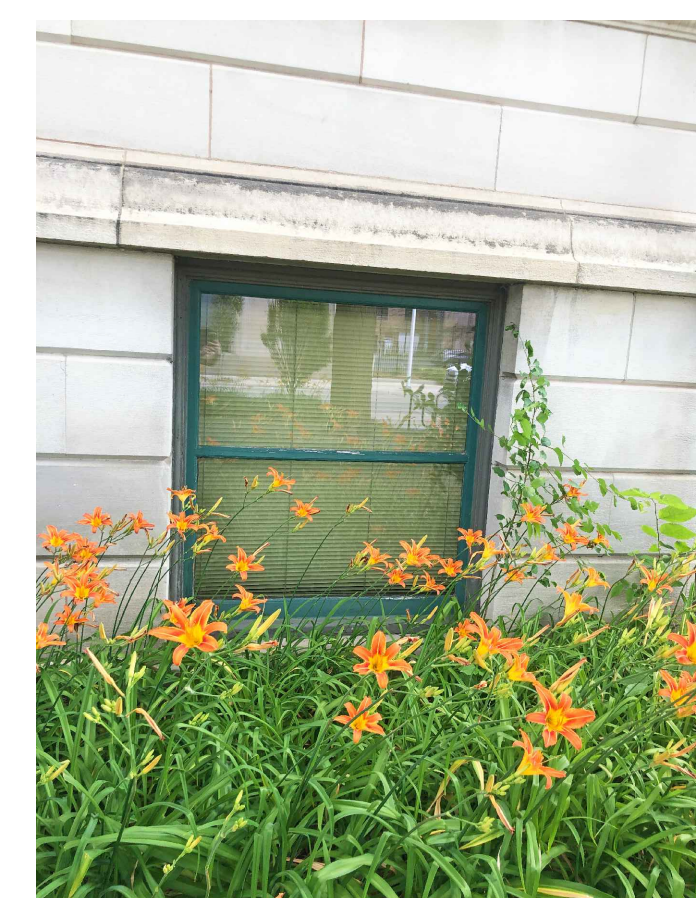
RECOMMENDATION:
SURFACE PREPARATION FOR MPI DSD 3
REMOVE & REPLACE DETERIORATED PERIMETER SEALANT



25

OBSERVATION:
BOTH GREEN & GRAY WINDOW PAINT ARE PEELING & FADING

RECOMMENDATION:
SURFACE PREPARATION FOR MPI DSD 3
REMOVE & REPLACE DETERIORATED PERIMETER SEALANT



28

OBSERVATION:
GREEN WINDOW PAINT IS OK
GRAY WINDOW PAINT IS PEELING

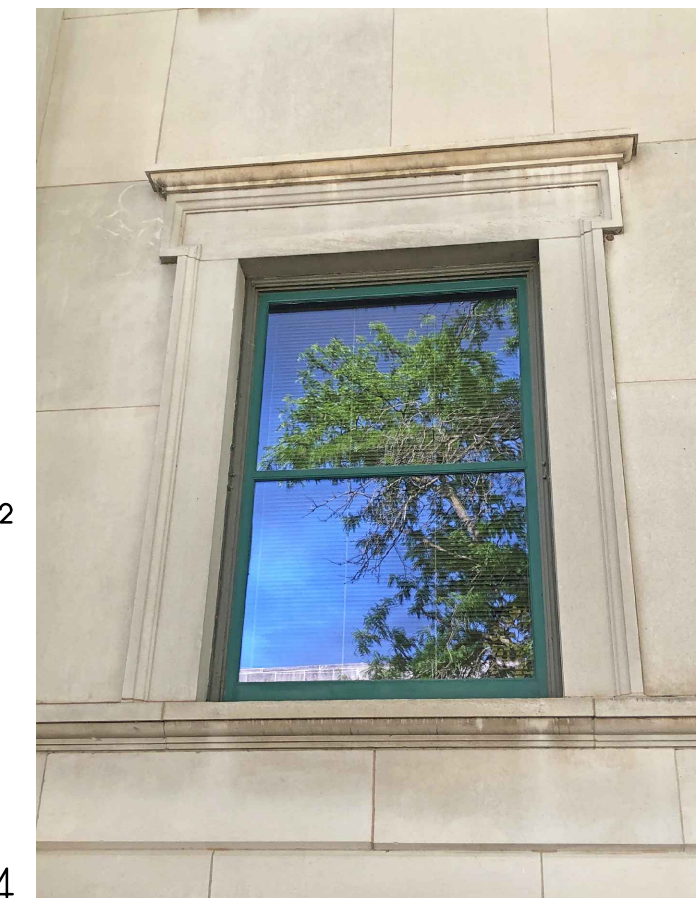
RECOMMENDATION:
SURFACE PREPARATION FOR MPI DSD 2
REMOVE & REPLACE DETERIORATED PERIMETER SEALANT



22

OBSERVATION:
GREEN WINDOW PAINT IS OK
GRAY WINDOW PAINT IS PEELING

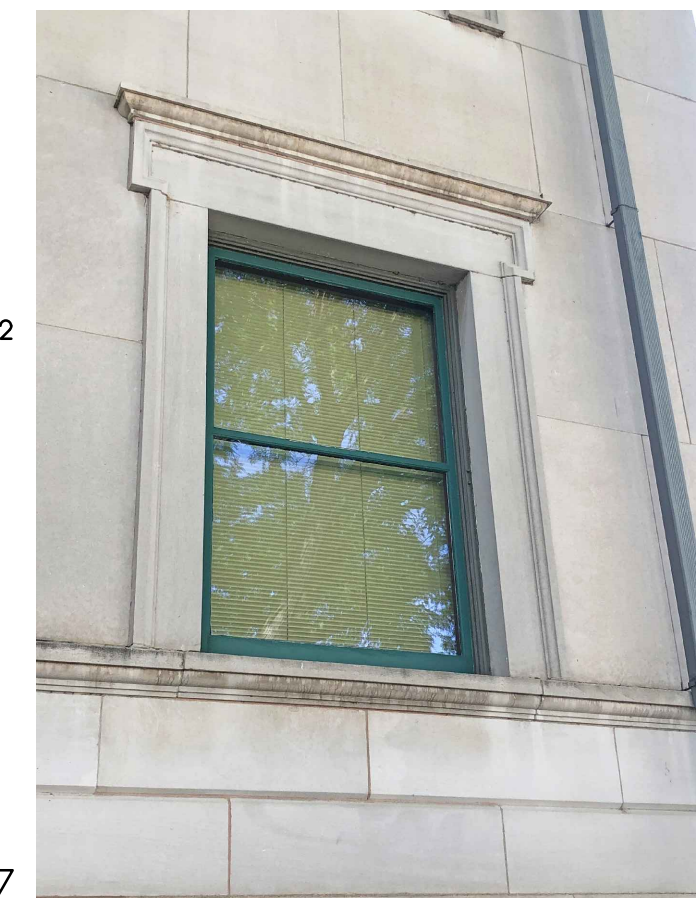
RECOMMENDATION:
SURFACE PREPARATION FOR MPI DSD 2
REMOVE & REPLACE DETERIORATED PERIMETER SEALANT



24

OBSERVATION:
GREEN WINDOW PAINT IS OK
GRAY WINDOW PAINT IS PEELING

RECOMMENDATION:
SURFACE PREPARATION FOR MPI DSD 2
REMOVE & REPLACE DETERIORATED PERIMETER SEALANT



27



13
OBSERVATION:
STONE UNIT IS CRACKED WITH NO APPARENT DISPLACEMENT.

RECOMMENDATION:
REPAIR CRACK.

CAREFULLY REMOVE ALL STEEL BOLTS IN EXISTING STONE COLUMNS AND PATCH WITH STONE REPAIR SYSTEM; STAIN TO BLEND-IN WITH EXISTING STONE AS REQUIRED.

SEE SHEET A3.6 FOR ADDL NOTES AND WORK AT THESE MAIN EXTERIOR STONE STEPS

OBSERVATION:
DOWNSPOUT HAS PEELING PAINT AND IS RUSTED AND JOINTS LEAK, ESPECIALLY AT TRANSITIONS

RECOMMENDATION:
SURFACE PREPARATION FOR MPI DSD 3
CUT OUT AND REPLACE TRANSITIONS/JOINTS THAT ARE TOO CORRODED TO REPAIR TO A WATERTIGHT CONDITION. SEE BID FORM FOR ADDL REQUIREMENTS

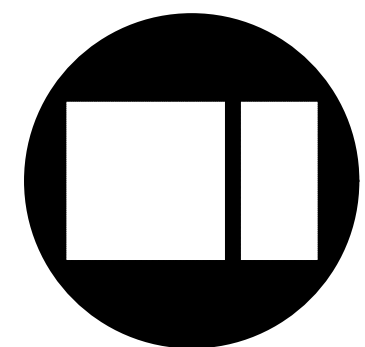
THE OWNER WILL BE REPLACING THESE EXISTING DOORS UNDER SEPARATE AGREEMENT IN FUTURE - N.L.C.

OBSERVATION:
DOWNSPOUT HAS PEELING PAINT AND IS RUSTED AND JOINTS LEAK, ESPECIALLY AT TRANSITIONS

RECOMMENDATION:
SURFACE PREPARATION FOR MPI DSD 3
CUT OUT AND REPLACE TRANSITIONS/JOINTS THAT ARE TOO CORRODED TO REPAIR TO A WATERTIGHT CONDITION. SEE BID FORM FOR ADDL REQUIREMENTS

GENERAL NOTES

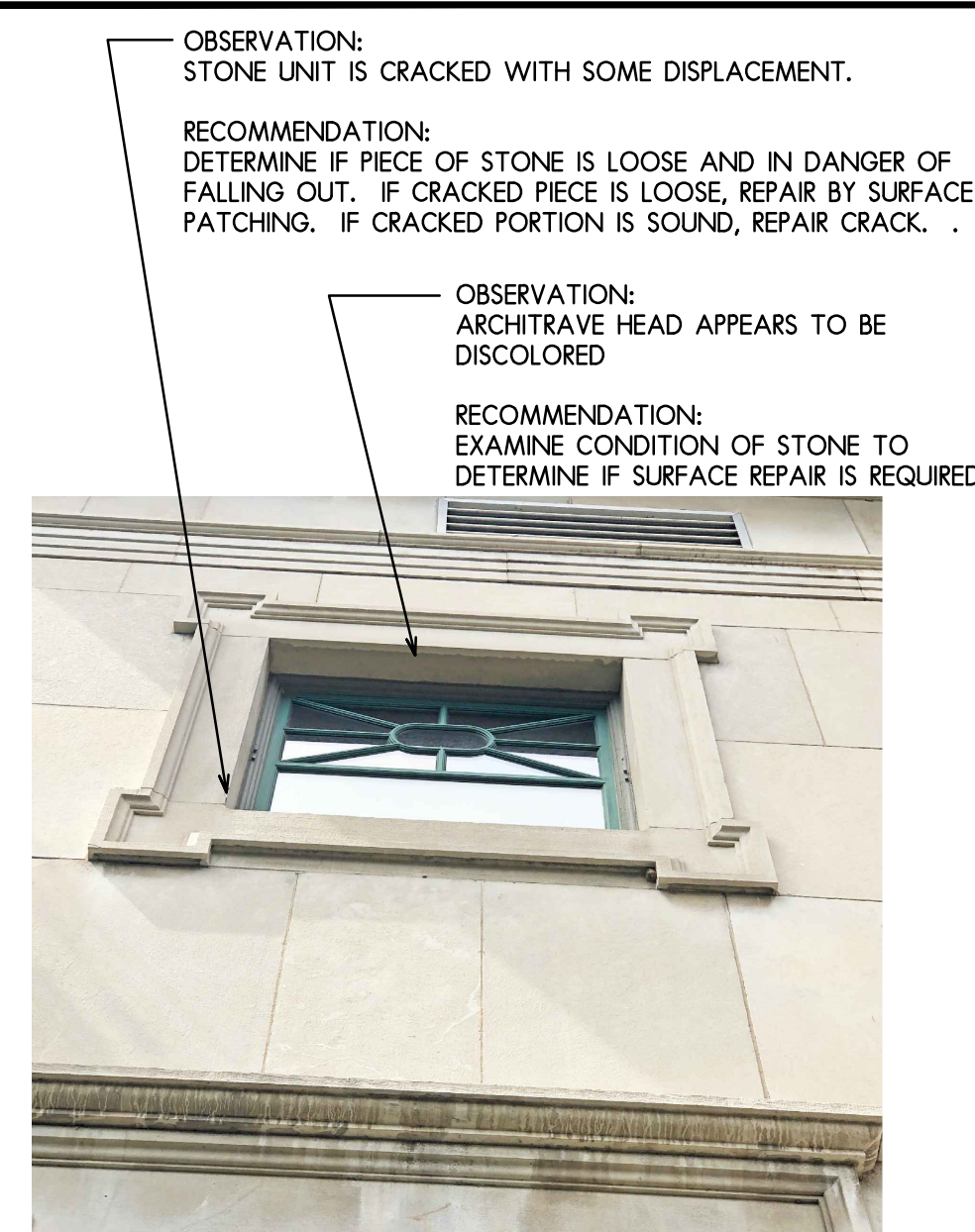
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 - LIMITED TUCK-POINTING
 - PREP WORK AND PAINTING EXTERIOR WINDOWS AND DOOR. (EXCEPT NO DOORS ON EAST ARE TO BE INCLUDED BUT INCLUDE DOOR FRAMES)
 - FILLING DOWNSPOUT HOLES, PRIMING AND PAINTING
 - REPLACING SOME GLITTER ANCHORS
 - REPAIRING BROKEN STONE WALL PANELS
 - REPLACING SOME STONE STEPS
 - MISC METAL FASCIA/SOFFIT REPAIRS AND PAINTING
 - PRIMING AND PAINTING HANDRAILS AND 4 DECORATIVE LIGHT POSTS
 - OTHER MISCELLANEOUS RELATED WORK.
- THE CONTRACTOR MUST VISIT THE SITE PRIOR TO BIDDING AND CAREFULLY EXAMINE AND MEASURE ALL AFFECTED AREAS AS REQUIRED.
- THE CONTRACTOR MAY TRIM-BACK PLANTINGS AS REQUIRED TO PERFORM THE WORK TAKING CARE NOT TO DESTROY SIGNIFICANT PLANTINGS.
- REMOVE ALL WASH NESTS AND MISC VINES GROWING ON THE BUILDING FACADE IN AFFECTED AREAS.
- CLEAN-UP WORK AREAS AT THE END OF EACH WORK DAY AND PERFORM FINAL CLEANING AT END OF PROJECT.
- CAREFULLY COORDINATE WORK WITH THE OWNER.
- COORDINATE AND COOPERATE WITH OTHER WORK WHICH MAY BE TAKING PLACE SIMULTANEOUSLY ON-SITE.
- REMEMBER: DO NOT BE OVERLY AGGRESSIVE WITH POWER WASHING TO AVOID DAMAGE TO MATERIALS.
- SEE THE PROJECT MANUAL FOR ADDITIONAL NOTES AND INFORMATION.
- SEE PROJECT MANUAL SECTION 09 01 90.52 MAINTENANCE REPAIRING FOR DESCRIPTION OF VARIOUS DEGREES OF SURFACE DEGRADATION (DSD).



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ISSUED FOR:	DATE:
DRAWN:	APPROVED:
RJC	JFW

DATE: 08-18-2021
PROJECT NUMBER: **30271-2**
SHEET NUMBER: **A3.3**



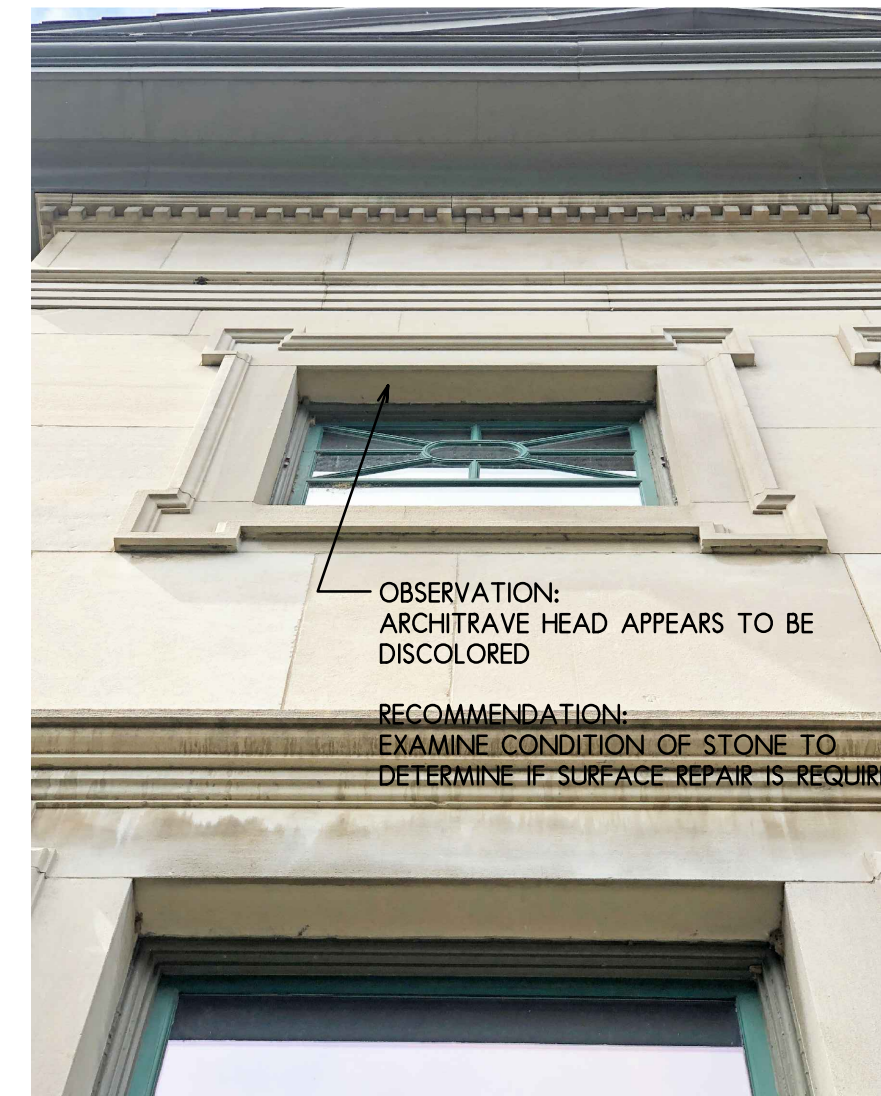
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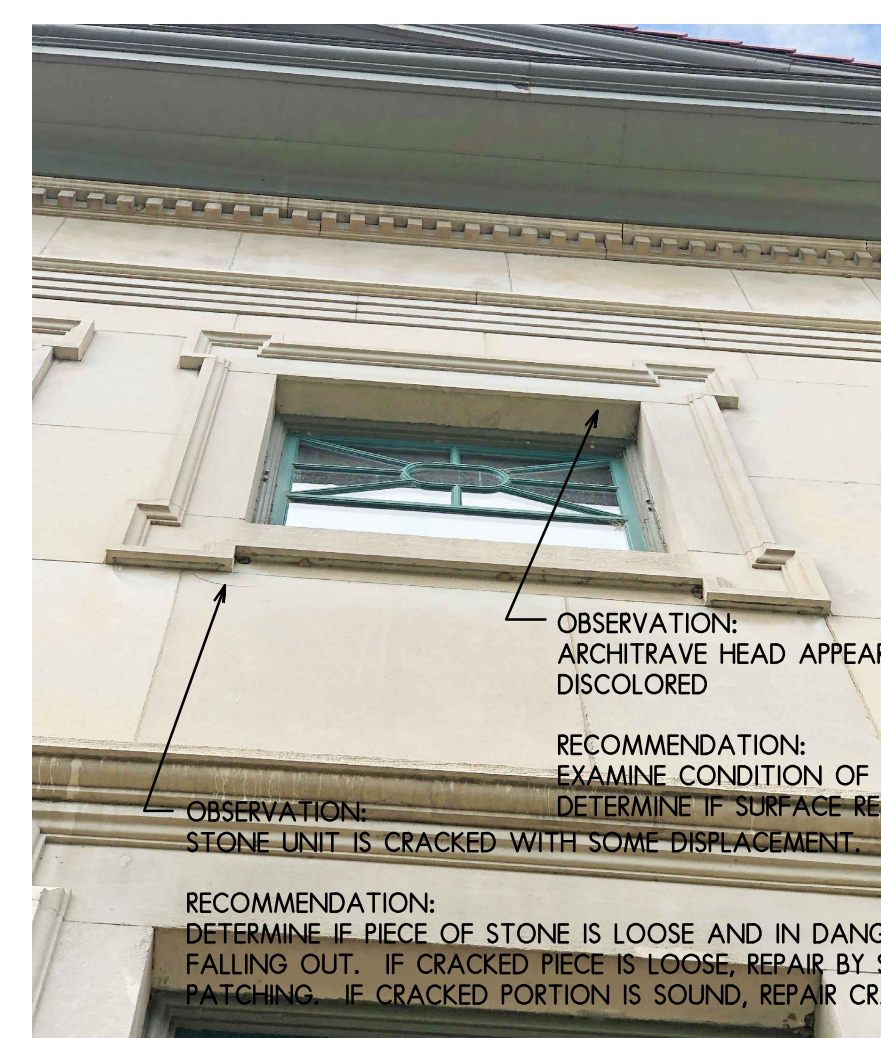
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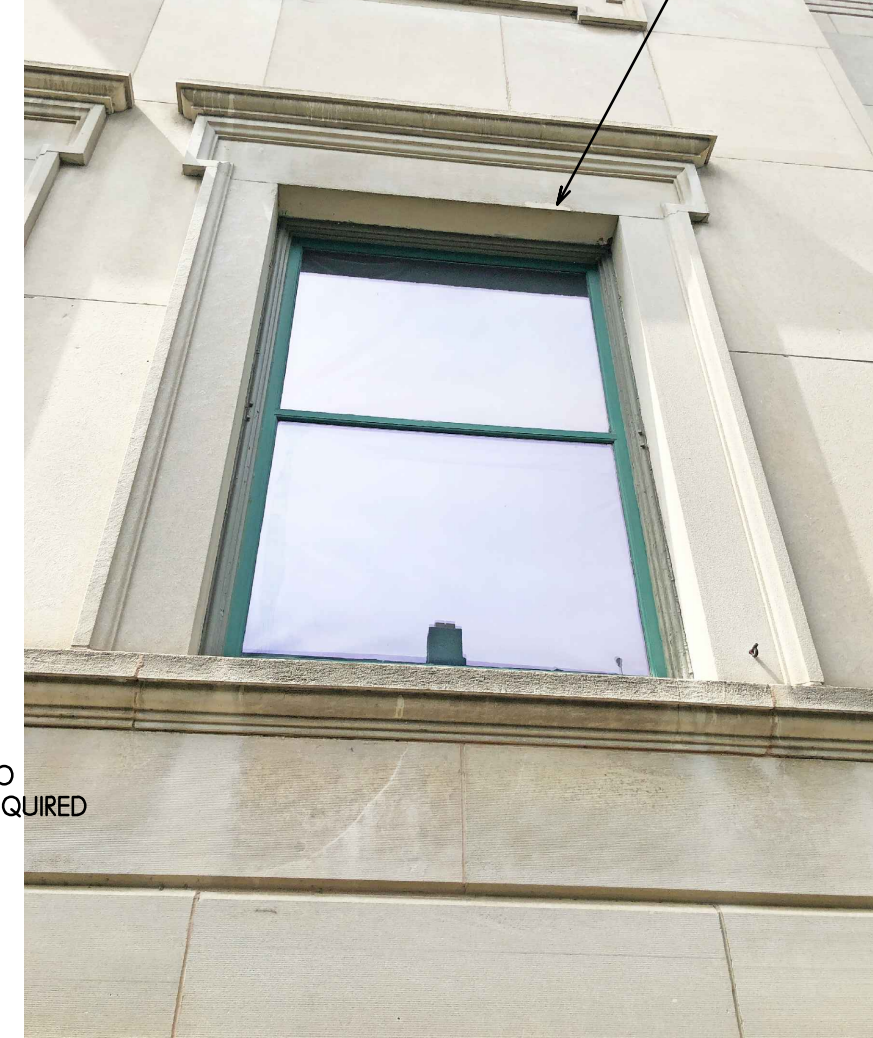
35



36



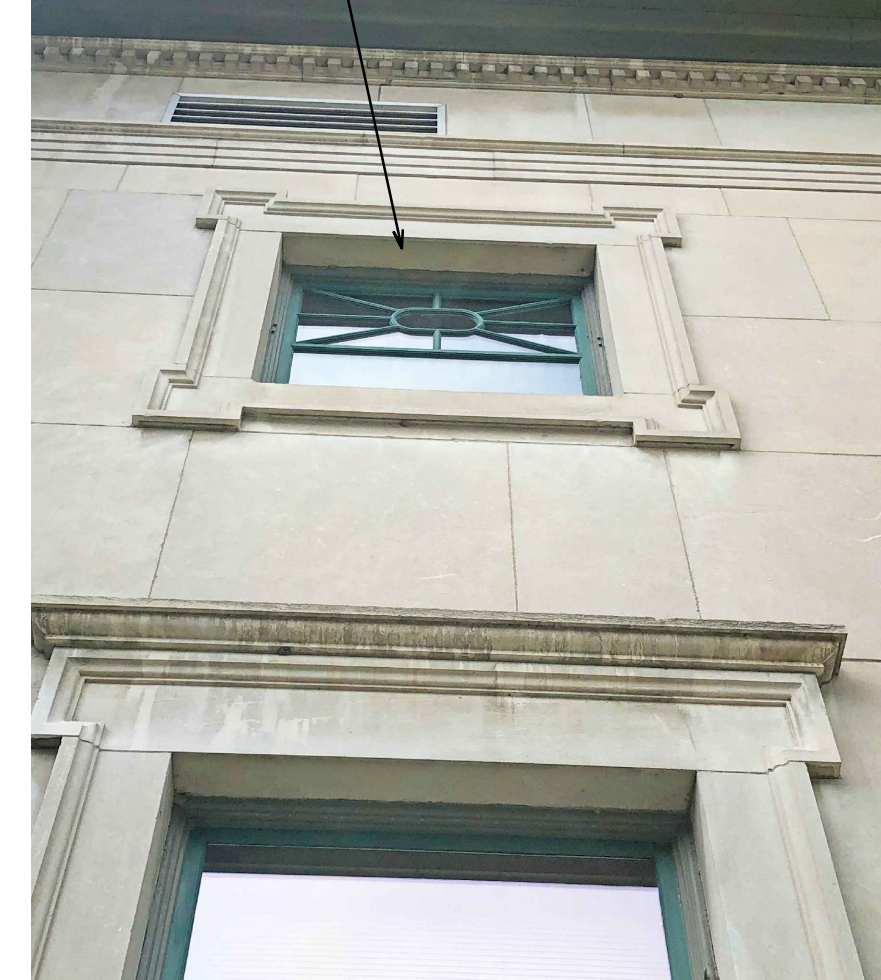
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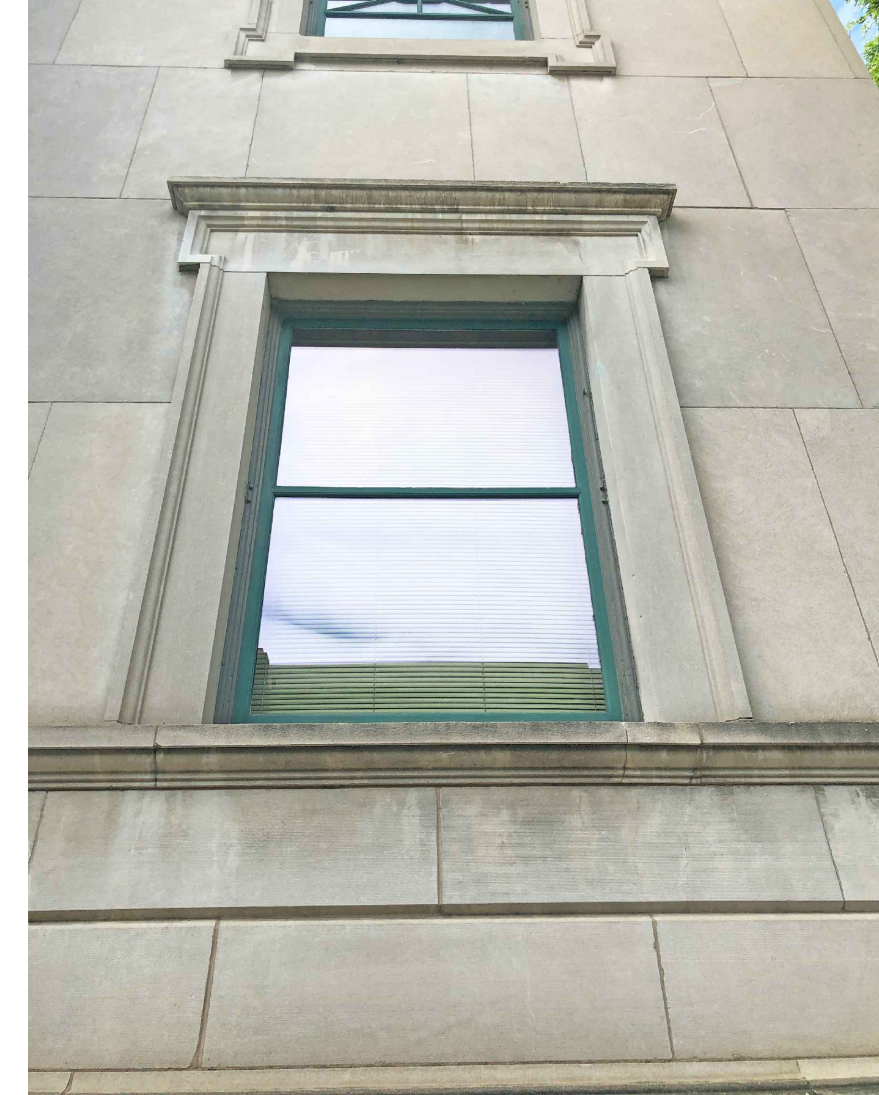
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39



40



41



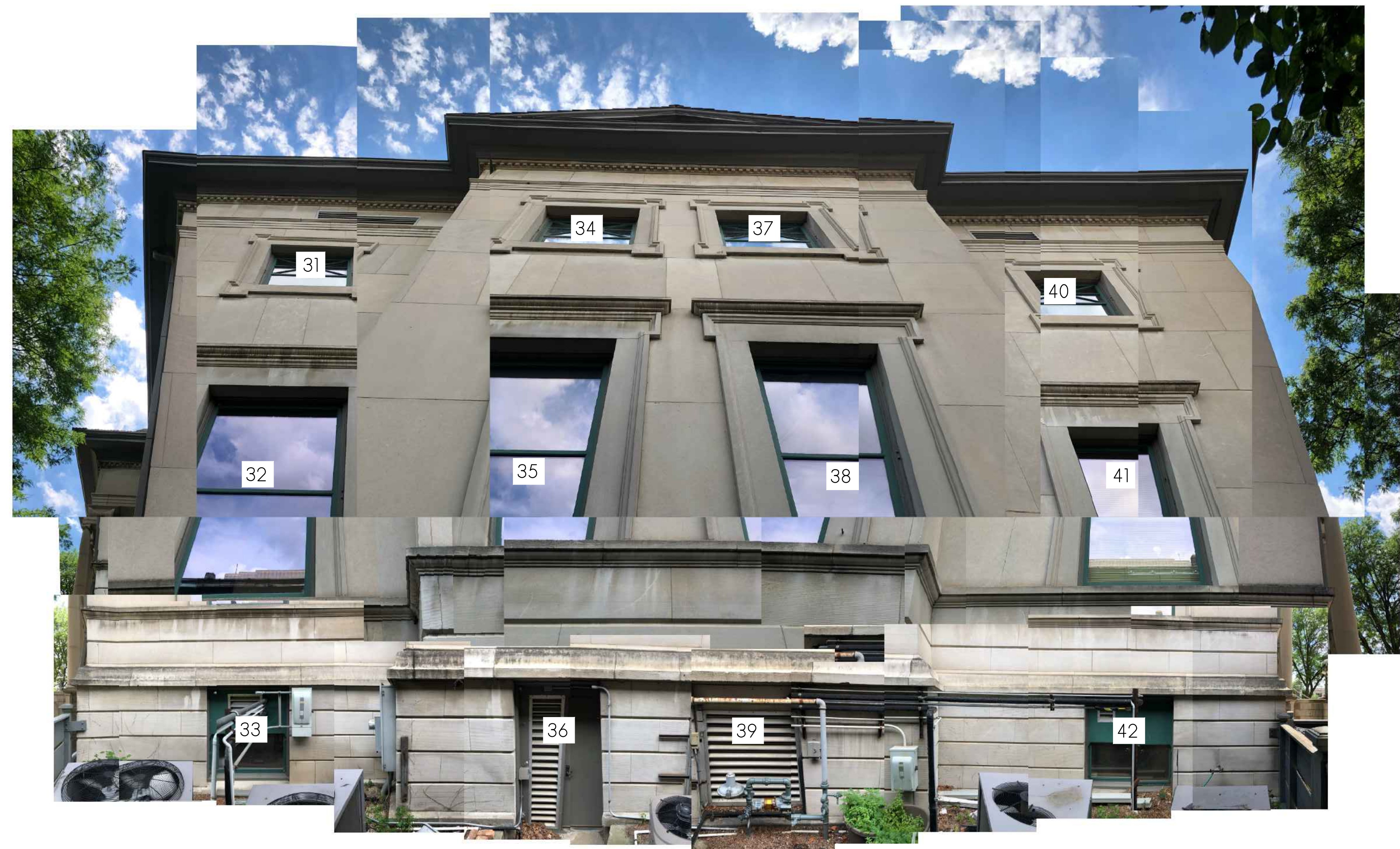
42

OBSERVATION:
BOTH GREEN & GRAY WINDOW PAINT ARE PEELING.
RECOMMENDATION:
SURFACE PREPARATION FOR MPI DSD 2
REMOVE & REPLACE DETERIORATED PERIMETER SEALANT

OBSERVATION:
BOTH GREEN & GRAY WINDOW PAINT ARE PEELING.
RECOMMENDATION:
SURFACE PREPARATION FOR MPI DSD 2
REMOVE & REPLACE DETERIORATED PERIMETER SEALANT

OBSERVATION:
BOTH GREEN & GRAY WINDOW PAINT ARE PEELING.
RECOMMENDATION:
SURFACE PREPARATION FOR MPI DSD 2
REMOVE & REPLACE DETERIORATED PERIMETER SEALANT

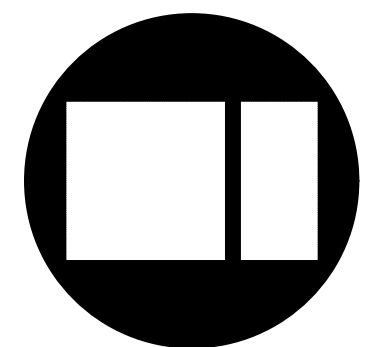
OBSERVATION:
BOTH GREEN & GRAY WINDOW PAINT APPEAR TO BE IN GOOD CONDITION.
RECOMMENDATION:
SURFACE PREPARATION FOR MPI DSD 2
REMOVE & REPLACE DETERIORATED PERIMETER SEALANT



*NORTH ELEVATION IS A PHOTO COLLAGE

GENERAL NOTES

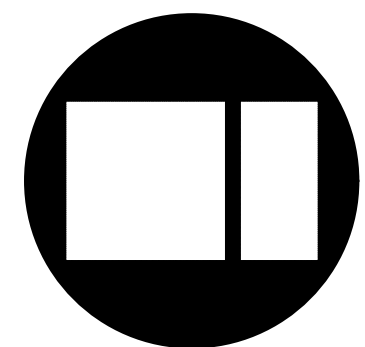
- REFER TO THE BID FORM FOR DESCRIPTIONS OF WORK EACH AREA. THE OVERALL SCOPE OF WORK WILL BE LIMITED DUE TO BUDGET CONSTRAINTS AND WILL GENERALLY INVOLVE:
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 - LIMITED TUCK-POINTING
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 - FILLING DOWNSPOUT HOLES, PRIMING AND PAINTING
 - REPLACING SOME OUTER ANCHORS
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 - REPLACING SOME STONE STEPS
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 - PREPPING, PRIMING AND PAINTING HANDRAILS AND 4 DECORATIVE LIGHT POSTS
 - OTHER MISCELLANEOUS RELATED WORK.
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- REMOVE ALL WASH NESTS AND MISC VINES GROWING ON THE BUILDING FACADE IN AFFECTED AREAS.
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- CAREFULLY COORDINATE WORK WITH THE OWNER.
- COORDINATE AND COOPERATE WITH OTHER WORK WHICH MAY BE TAKING PLACE SIMULTANEOUSLY ON-SITE.
- REMEMBER, DO NOT BE OVERLY AGGRESSIVE WITH POWER WASHING TO AVOID DAMAGE TO MATERIALS.
- SEE THE PROJECT MANUAL FOR ADDITIONAL NOTES AND INFORMATION.
- SEE PROJECT MANUAL SECTION 09 01 90.52 MAINTENANCE REPAIRING FOR DESCRIPTION OF VARIOUS DEGREES OF SURFACE DEGRADATION (DSD).



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ISSUED FOR:	DATE:
DRAWN:	APPROVED:
RJC	JFW

DATE: 08-18-2021
PROJECT NUMBER: **30271-2**
SHEET NUMBER: **A3.4**



EXTERIOR MAINTENANCE REPAIR WORK FOR:
VETERANS MEMORIAL HALL
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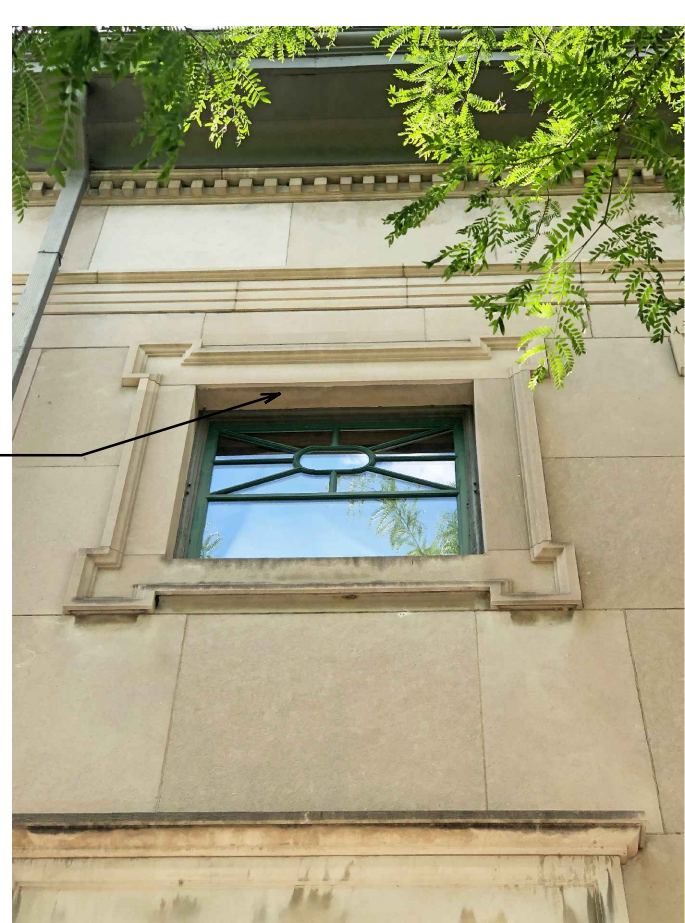
ISSUED FOR:	DATE:
DRAWN:	APPROVED:
RJC	JFW

DATE: 08-18-2021
PROJECT NUMBER: **30271-2**
SHEET NUMBER: **A3.5**

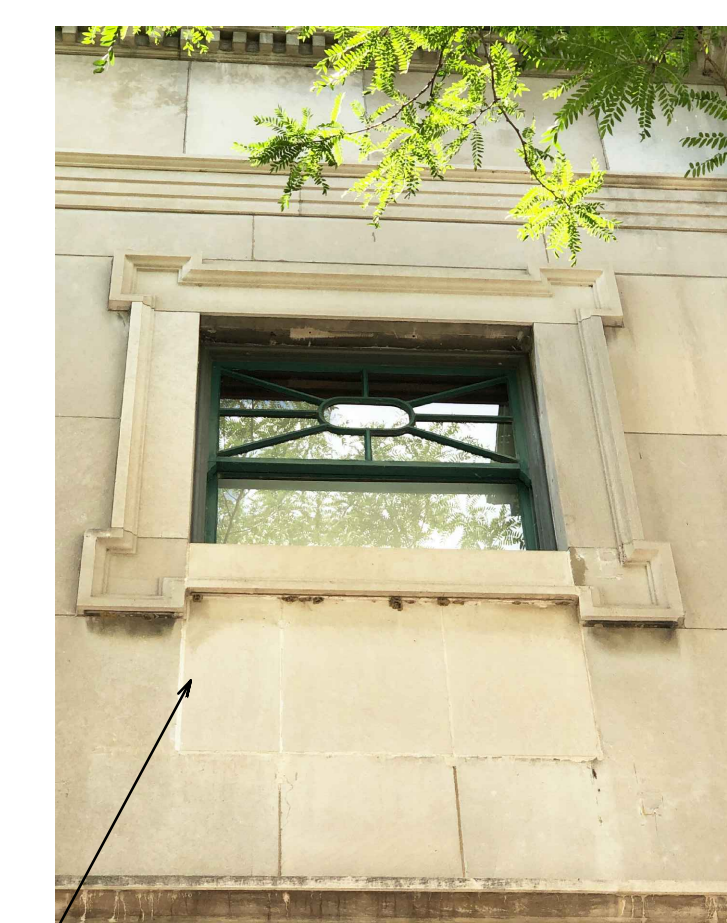
EAST EXTERIOR ELEVATION
NO SCALE



ARCHITRAVE HEAD NEEDS ADDITIONAL CLEANING AT WINDOWS 43, 46, 51, 53, & 56



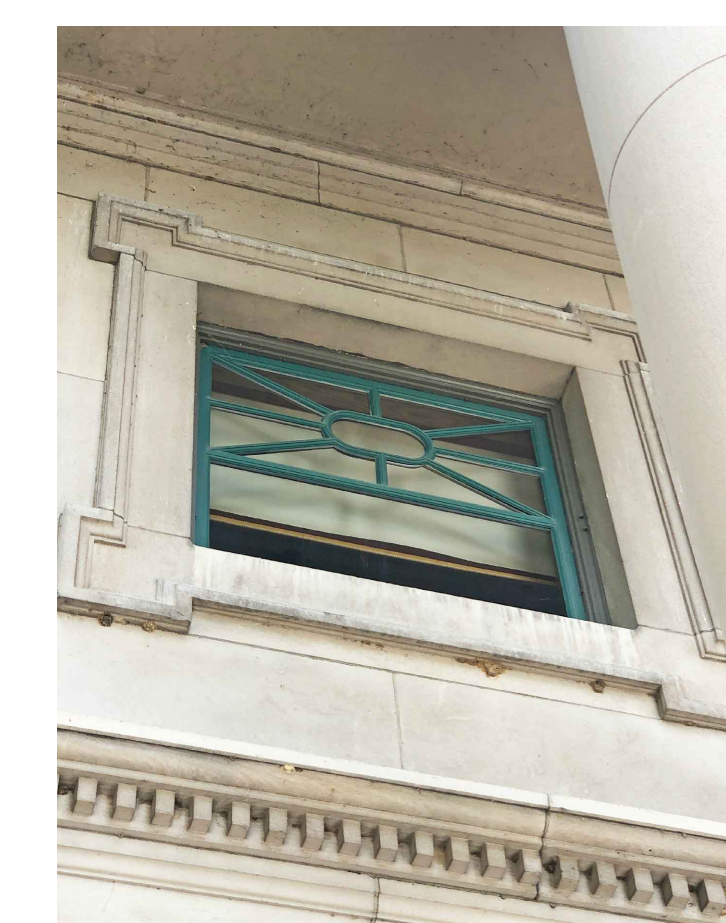
43 OBSERVATION: GREEN WINDOW PAINT IS OK GRAY WINDOW PAINT IS PEELING
RECOMMENDATION: SURFACE PREPARATION FOR MPI DSD 3 REMOVE & REPLACE DETERIORATED PERIMETER SEALANT



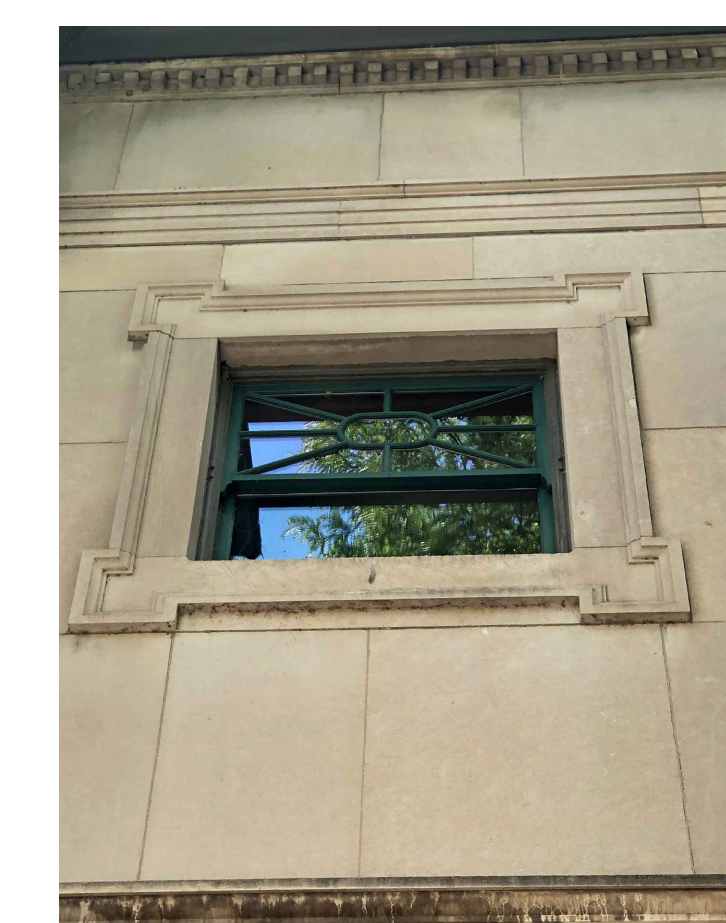
46 OBSERVATION: GREEN WINDOW PAINT IS OK GRAY WINDOW PAINT IS PEELING
RECOMMENDATION: SURFACE PREPARATION FOR MPI DSD 3 REMOVE & REPLACE DETERIORATED PERIMETER SEALANT



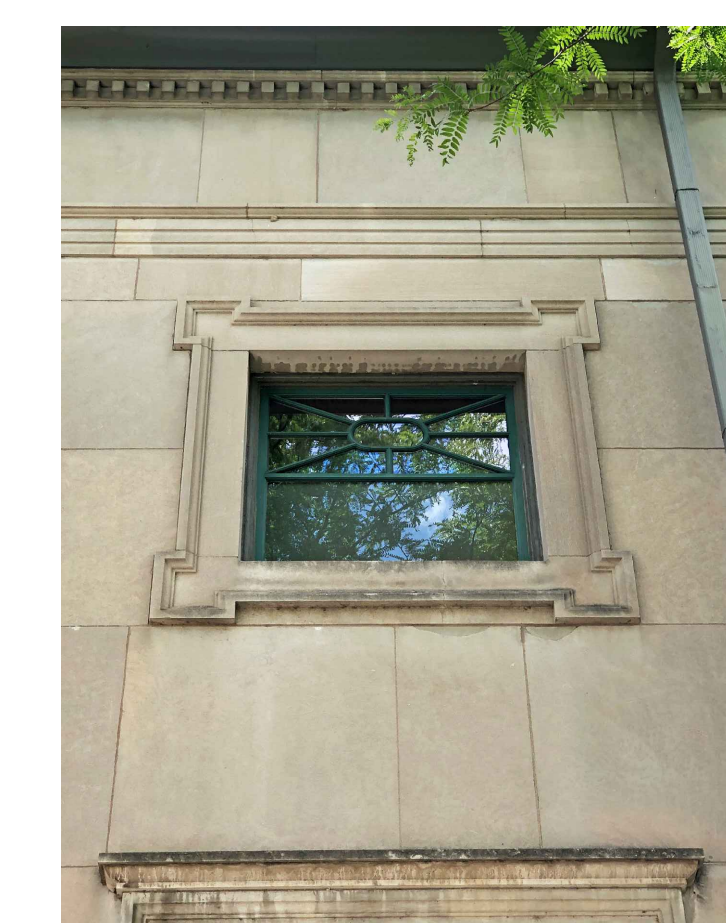
49 OBSERVATION: BOTH GREEN & GRAY WINDOW PAINT ARE PEELING & FADING. SOME WOOD DAMAGE OBSERVED.
RECOMMENDATION: SURFACE PREPARATION FOR MPI DSD 4 REMOVE & REPLACE DETERIORATED PERIMETER SEALANT



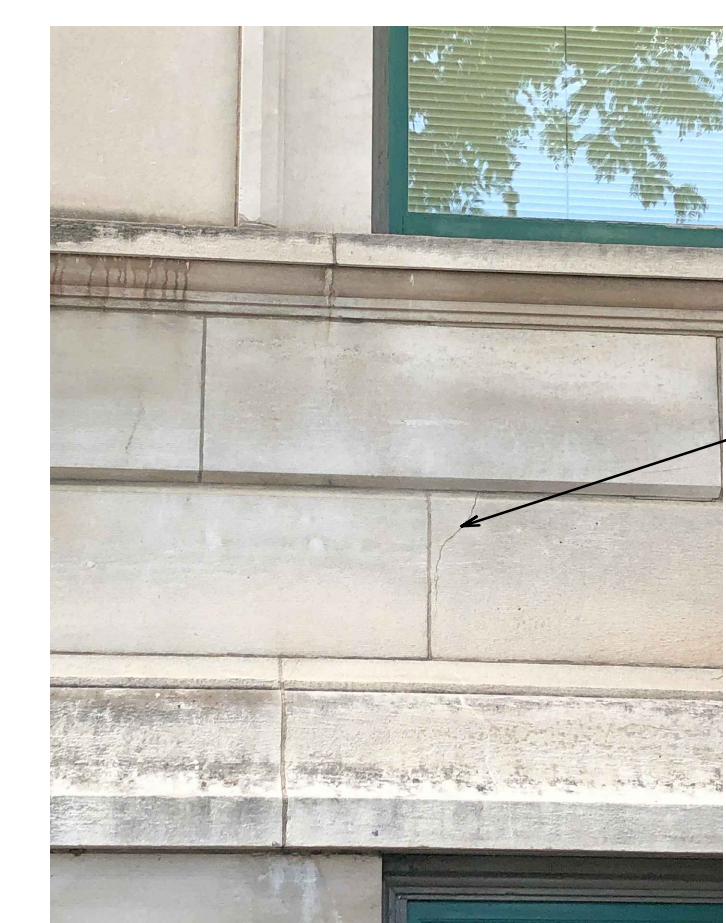
51 OBSERVATION: BOTH GREEN & GRAY WINDOW PAINT ARE PEELING & FADING
RECOMMENDATION: SURFACE PREPARATION FOR MPI DSD 2 REMOVE & REPLACE DETERIORATED PERIMETER SEALANT



53 OBSERVATION: GREEN WINDOW PAINT IS OK GRAY WINDOW PAINT IS PEELING
RECOMMENDATION: SURFACE PREPARATION FOR MPI DSD 3 REMOVE & REPLACE DETERIORATED PERIMETER SEALANT



56 OBSERVATION: GREEN WINDOW PAINT IS OK GRAY WINDOW PAINT IS PEELING
RECOMMENDATION: SURFACE PREPARATION FOR MPI DSD 3 REMOVE & REPLACE DETERIORATED PERIMETER SEALANT



OBSERVATION: STONE UNIT IS CRACKED WITH NO APPARENT DISPLACEMENT.
RECOMMENDATION: DETERMINE IF STONE IS LOOSE. IF CRACKED PIECE IS LOOSE, REPAIR BY SURFACE PATCHING. IF CRACKED PORTION IS SOUND, REPAIR CRACK.



OBSERVATION: PREVIOUSLY REPAIRED STONE DAMAGE
RECOMMENDATION: DETERMINE IF REPAIR IS SOUND. REPAIR BY SURFACE PATCHING AS REQUIRED.

OBSERVATION: BOTH GREEN & GRAY WINDOW PAINT ARE PEELING & FADING
RECOMMENDATION: SURFACE PREPARATION FOR MPI DSD 3 REMOVE & REPLACE DETERIORATED PERIMETER SEALANT

44



OBSERVATION: BOTH GREEN & GRAY WINDOW PAINT ARE PEELING & FADING
RECOMMENDATION: SURFACE PREPARATION FOR MPI DSD 2 REMOVE & REPLACE DETERIORATED PERIMETER SEALANT

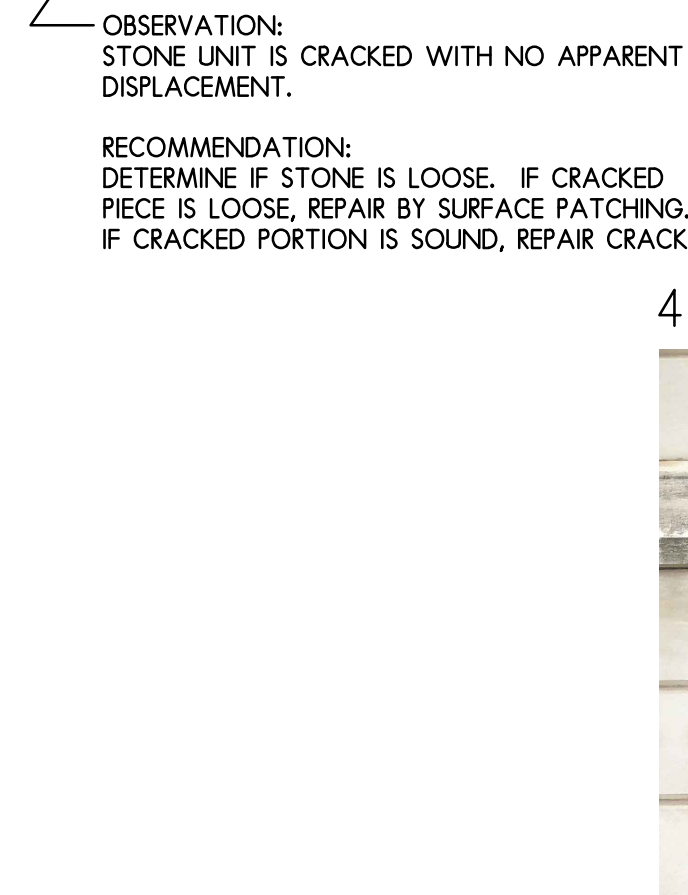
47



OBSERVATION: STONE UNIT IS CRACKED WITH NO APPARENT DISPLACEMENT.
RECOMMENDATION: DETERMINE IF STONE IS LOOSE. IF CRACKED PIECE IS LOOSE, REPAIR BY SURFACE PATCHING. IF CRACKED PORTION IS SOUND, REPAIR CRACK.

OBSERVATION: BOTH GREEN & GRAY WINDOW PAINT ARE PEELING & FADING
RECOMMENDATION: SURFACE PREPARATION FOR MPI DSD 2 REMOVE & REPLACE DETERIORATED PERIMETER SEALANT

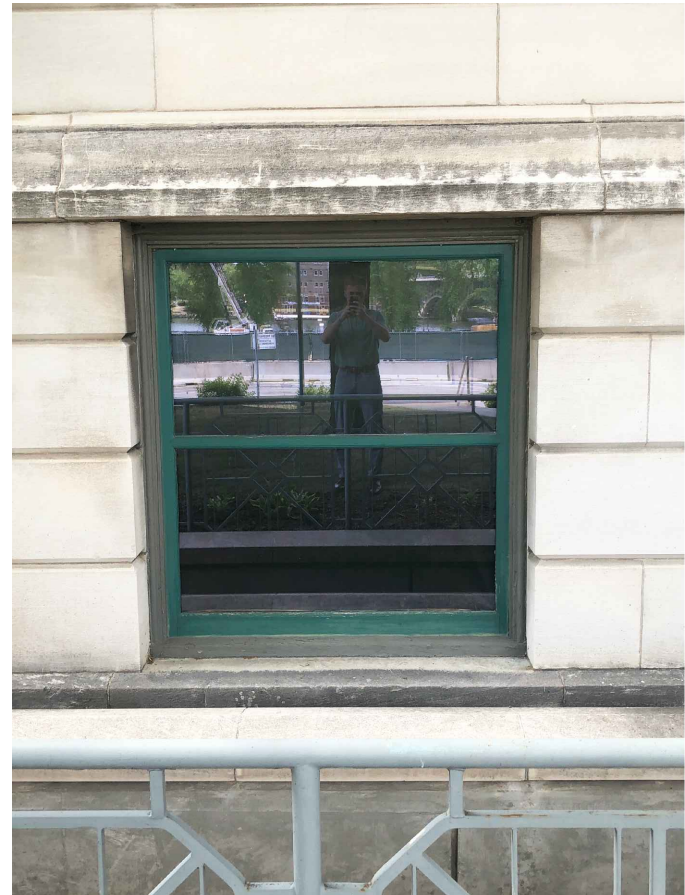
50



OBSERVATION: STONE UNIT IS CRACKED WITH NO APPARENT DISPLACEMENT.
RECOMMENDATION: DETERMINE IF STONE IS LOOSE. IF CRACKED PIECE IS LOOSE, REPAIR BY SURFACE PATCHING. IF CRACKED PORTION IS SOUND, REPAIR CRACK.

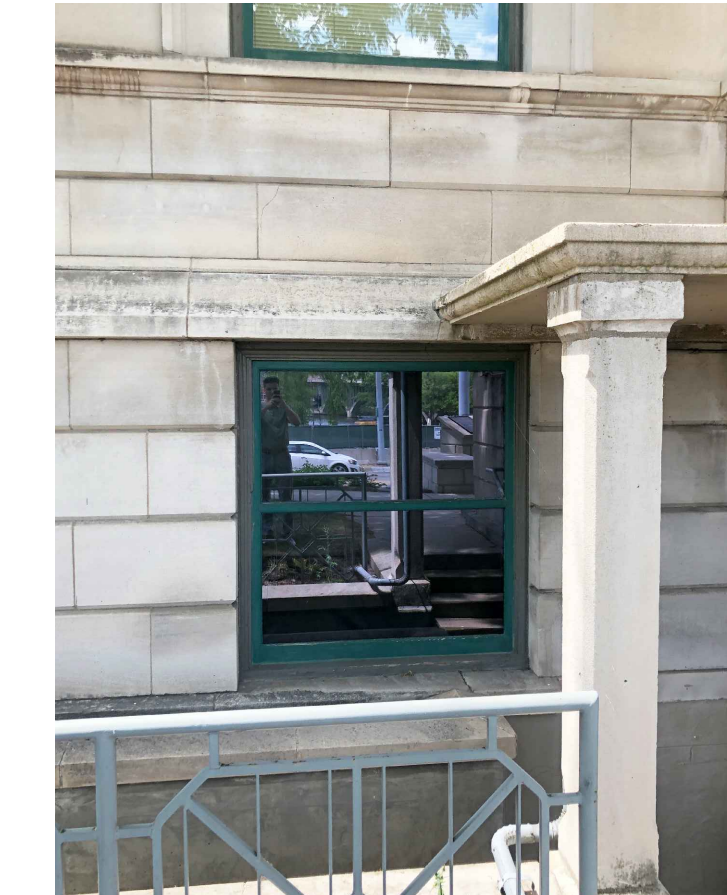
OBSERVATION: BOTH GREEN & GRAY WINDOW PAINT IS PEELING
RECOMMENDATIONS: SURFACE PREPARATION FOR MPI DSD 2 REMOVE & REPLACE DETERIORATED PERIMETER SEALANT

45



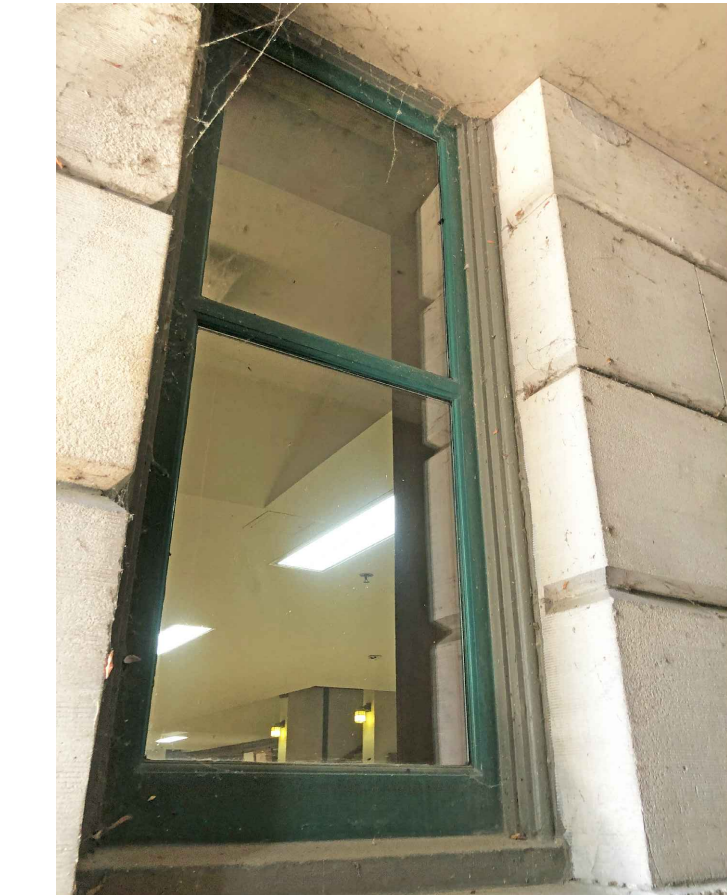
OBSERVATION: BOTH GREEN & GRAY WINDOW PAINT ARE PEELING & FADING
RECOMMENDATIONS: SURFACE PREPARATION FOR MPI DSD 2 REMOVE & REPLACE DETERIORATED PERIMETER SEALANT

48



OBSERVATION: BOTH GREEN & GRAY WINDOW PAINT ARE PEELING & FADING
RECOMMENDATIONS: SURFACE PREPARATION FOR MPI DSD 2 REMOVE & REPLACE DETERIORATED PERIMETER SEALANT

59



OBSERVATION: BOTH GREEN & GRAY WINDOW PAINT ARE PEELING & FADING
RECOMMENDATION: SURFACE PREPARATION FOR MPI DSD 2 REMOVE & REPLACE DETERIORATED PERIMETER SEALANT

60



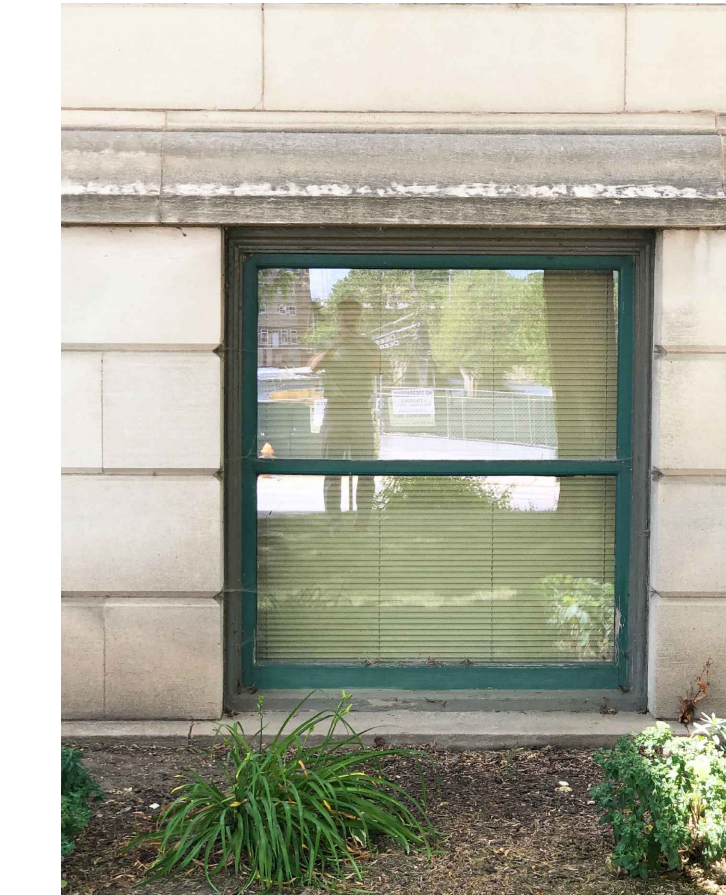
OBSERVATION: BOTH GREEN & GRAY WINDOW PAINT ARE PEELING & FADING
RECOMMENDATION: SURFACE PREPARATION FOR MPI DSD 2 REMOVE & REPLACE DETERIORATED PERIMETER SEALANT

55



OBSERVATION: BOTH GREEN & GRAY WINDOW PAINT ARE PEELING & FADING. SOME WOOD DAMAGE OBSERVED.
RECOMMENDATION: SURFACE PREPARATION FOR MPI DSD 4 REMOVE & REPLACE DETERIORATED PERIMETER SEALANT

58



OBSERVATION: BOTH GREEN & GRAY WINDOW PAINT ARE PEELING & FADING
RECOMMENDATION: SURFACE PREPARATION FOR MPI DSD 2 REMOVE & REPLACE DETERIORATED PERIMETER SEALANT

57



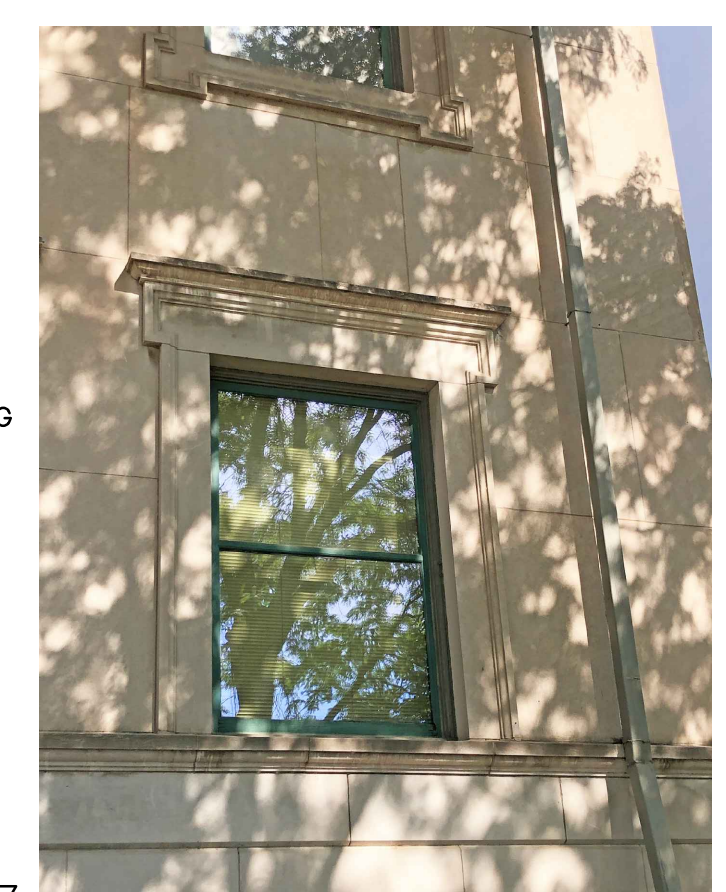
OBSERVATION: BOTH GREEN & GRAY WINDOW PAINT ARE PEELING & FADING
RECOMMENDATION: SURFACE PREPARATION FOR MPI DSD 2 REMOVE & REPLACE DETERIORATED PERIMETER SEALANT

52



OBSERVATION: BOTH GREEN & GRAY WINDOW PAINT ARE PEELING & FADING
RECOMMENDATION: SURFACE PREPARATION FOR MPI DSD 2 REMOVE & REPLACE DETERIORATED PERIMETER SEALANT

54



OBSERVATION: BOTH GREEN & GRAY WINDOW PAINT ARE PEELING & FADING. SOME WOOD DAMAGE OBSERVED.
RECOMMENDATION: SURFACE PREPARATION FOR MPI DSD 4 REMOVE & REPLACE DETERIORATED PERIMETER SEALANT

57

GENERAL NOTES

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- SEE PROJECT MANUAL SECTION 09 01 90.52 MAINTENANCE REPAIRING FOR DESCRIPTION OF VARIOUS DEGREES OF SURFACE DEGRADATION (DSD).

OBSERVATION: PAINT AT THE BOTTOM SIDE OF THE PEDIMENT IS PEELING
RECOMMENDATION: SURFACE PREPARATION FOR MPI DSD 3

OBSERVATION: STEEL BOLTS ARE EMBEDDED IN THE EXISTING COLUMNS
RECOMMENDATION: CAREFULLY REMOVE ALL STEEL BOLTS IN EXISTING STONE COLUMNS AND PATCH WITH STONE REPAIR SYSTEM; STAIN TO BLEND-IN WITH EXISTING STONE AS REQUIRED.

OBSERVATION: STONE UNIT IS CRACKED WITH NO APPARENT DISPLACEMENT.
RECOMMENDATION: DETERMINE IF STONE IS LOOSE. IF CRACKED PIECE IS LOOSE, REPAIR BY SURFACE PATCHING. IF CRACKED PORTION IS SOUND, REPAIR CRACK.

OBSERVATION: DOWNSPOUT HAS PEELING PAINT AND IS RUSTED AND JOINTS LEAK, ESPECIALLY AT TRANSITIONS
RECOMMENDATION: SURFACE PREPARATION FOR MPI DSD 3 CUT OUT AND REPLACE TRANSITIONS/JOINTS THAT ARE TOO CORRODED TO REPAIR TO A WATERTIGHT CONDITION. SEE BID FORM FOR ADDL REQUIREMENTS. COORDINATE THIS WORK WITH THE ACCESSIBILITY PROJECT TO AVOID DUPLICATION OF WORK.

SEE SHEET A3.7 FOR WORK AT EAST MAIN EXTERIOR STONE STEPS

OBSERVATION: LIMESTONE COLUMN IS CRACKED AT THE BASE.
RECOMMENDATION: DETERMINE IF STONE IS LOOSE. IF CRACKED PIECE IS LOOSE, REPAIR BY SURFACE PATCHING. IF CRACKED PORTION IS SOUND, REPAIR CRACK.

OBSERVATION: DOWNSPOUT HAS PEELING PAINT AND IS RUSTED AND JOINTS LEAK, ESPECIALLY AT TRANSITIONS
RECOMMENDATION: SURFACE PREPARATION FOR MPI DSD 3 CUT OUT AND REPLACE TRANSITIONS/JOINTS THAT ARE TOO CORRODED TO REPAIR TO A WATERTIGHT CONDITION. SEE BID FORM FOR ADDL REQUIREMENTS



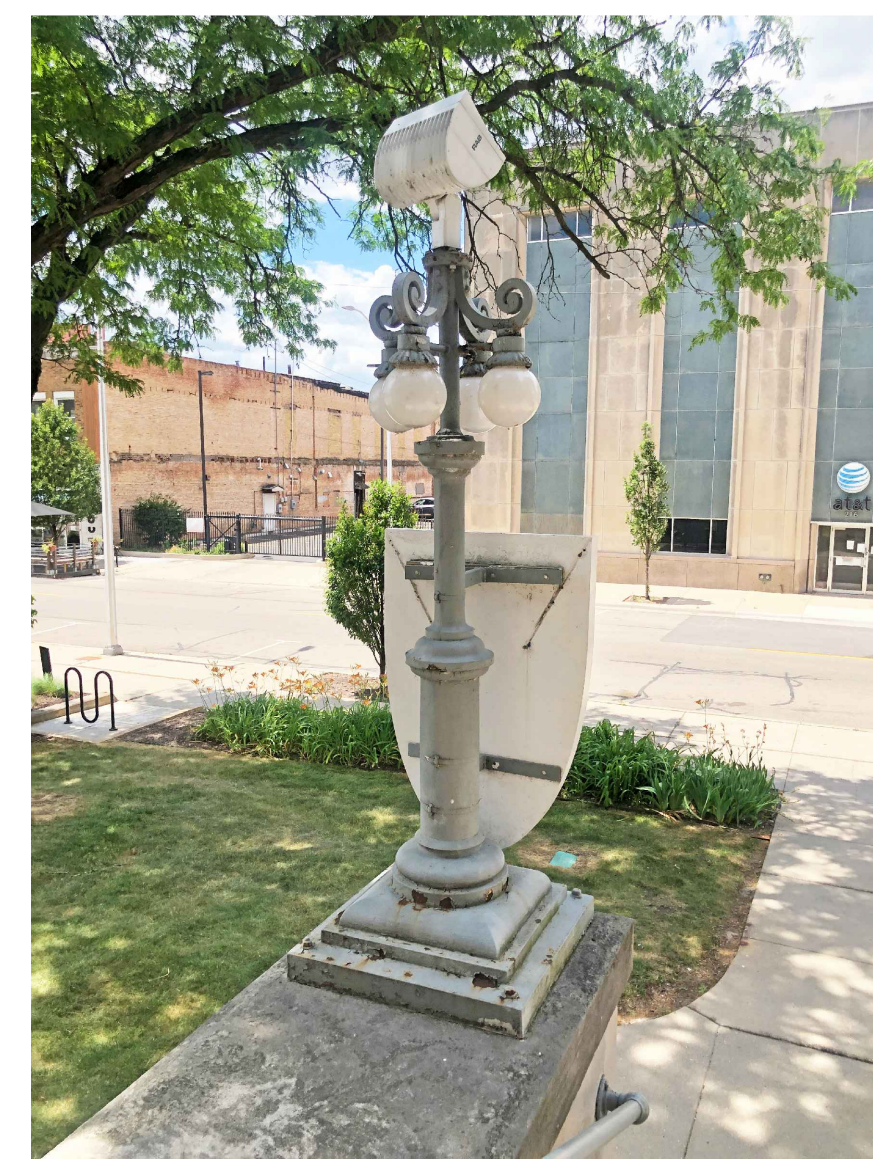
1
OBSERVATION:
STONE CORNER IS SEVERELY DAMAGED AND DISPLACED
RECOMMENDATION:
SEE STAIR WORK NOTES THIS SHEET



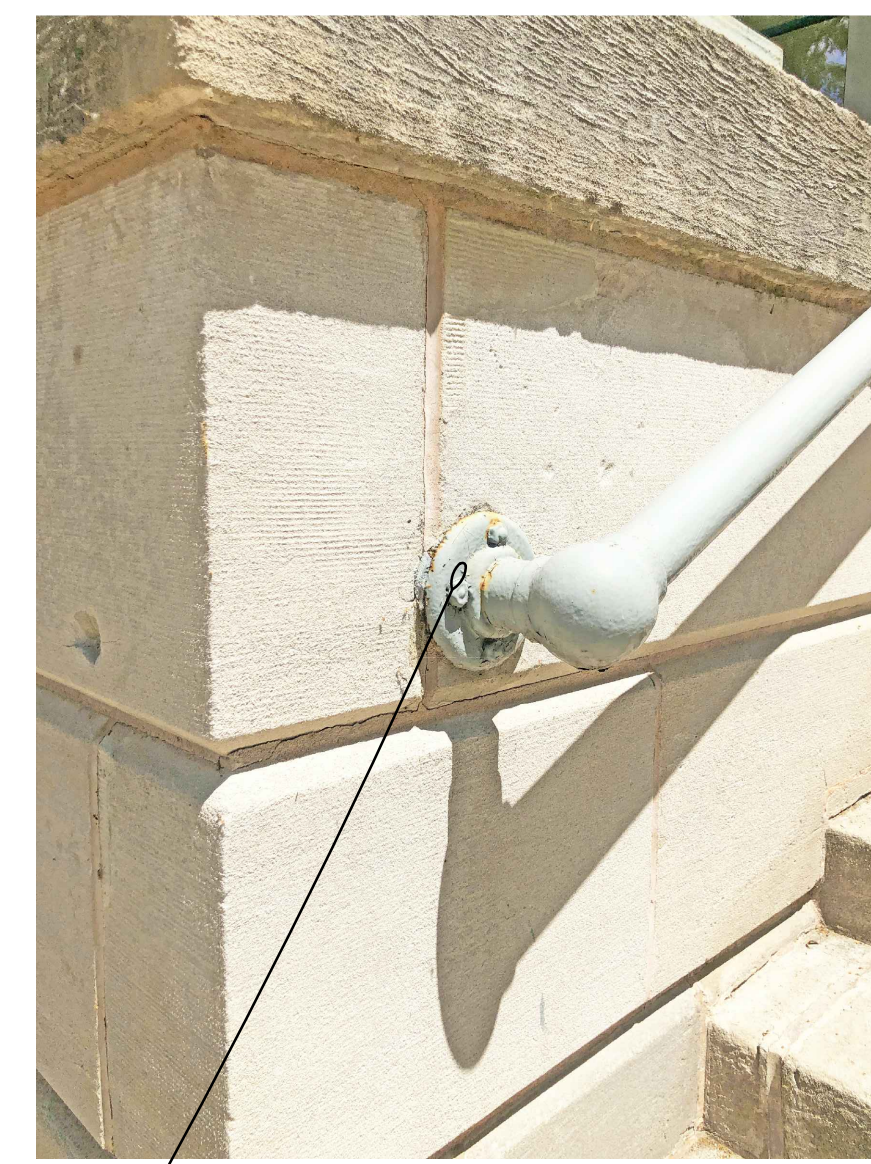
2
OBSERVATION:
STONE BASE IS SEVERELY DAMAGED AND DISPLACED
RECOMMENDATION:
SEE STAIR WORK NOTES THIS SHEET



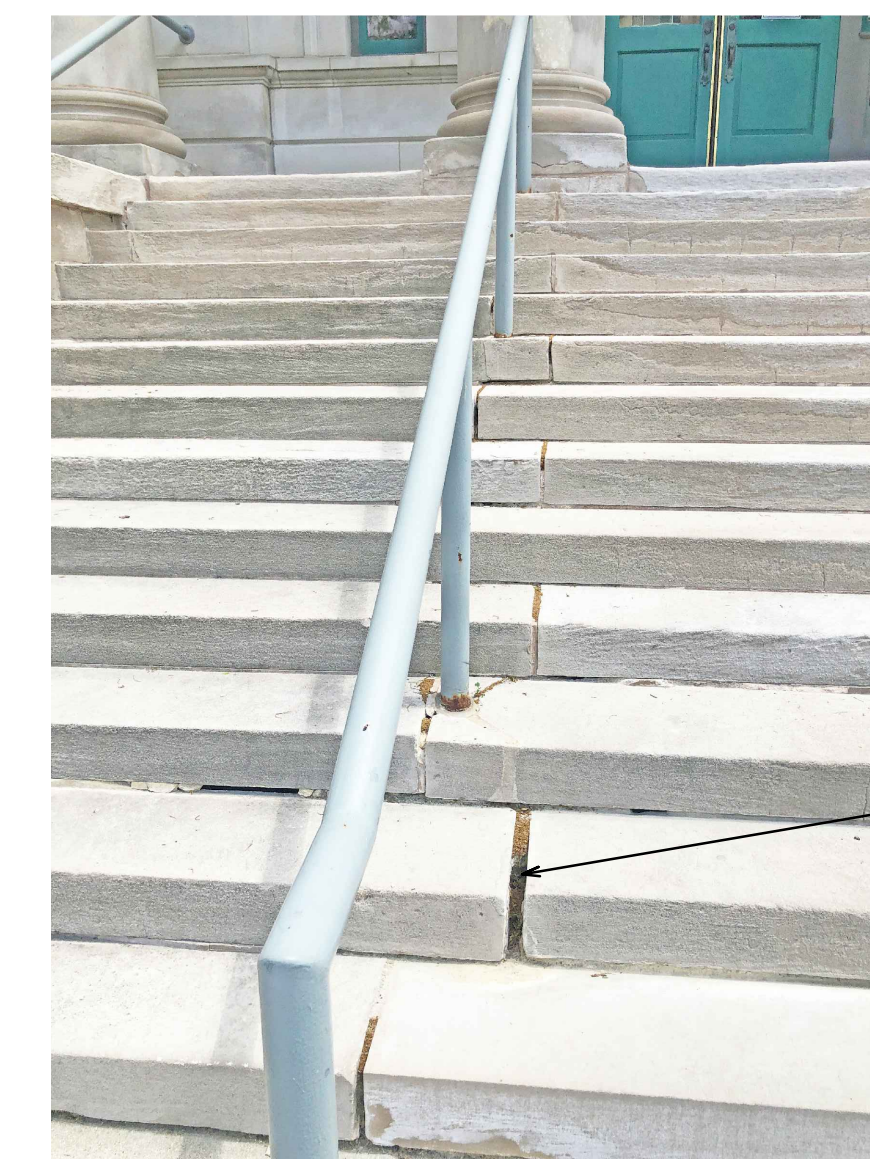
3
OBSERVATION:
EXTERIOR STAIR LIGHT POSTS ARE SEVERELY RUSTED
AND THE PAINT IS PEELING
RECOMMENDATION:
SURFACE PREPARATION FOR MPI DSD 3



4

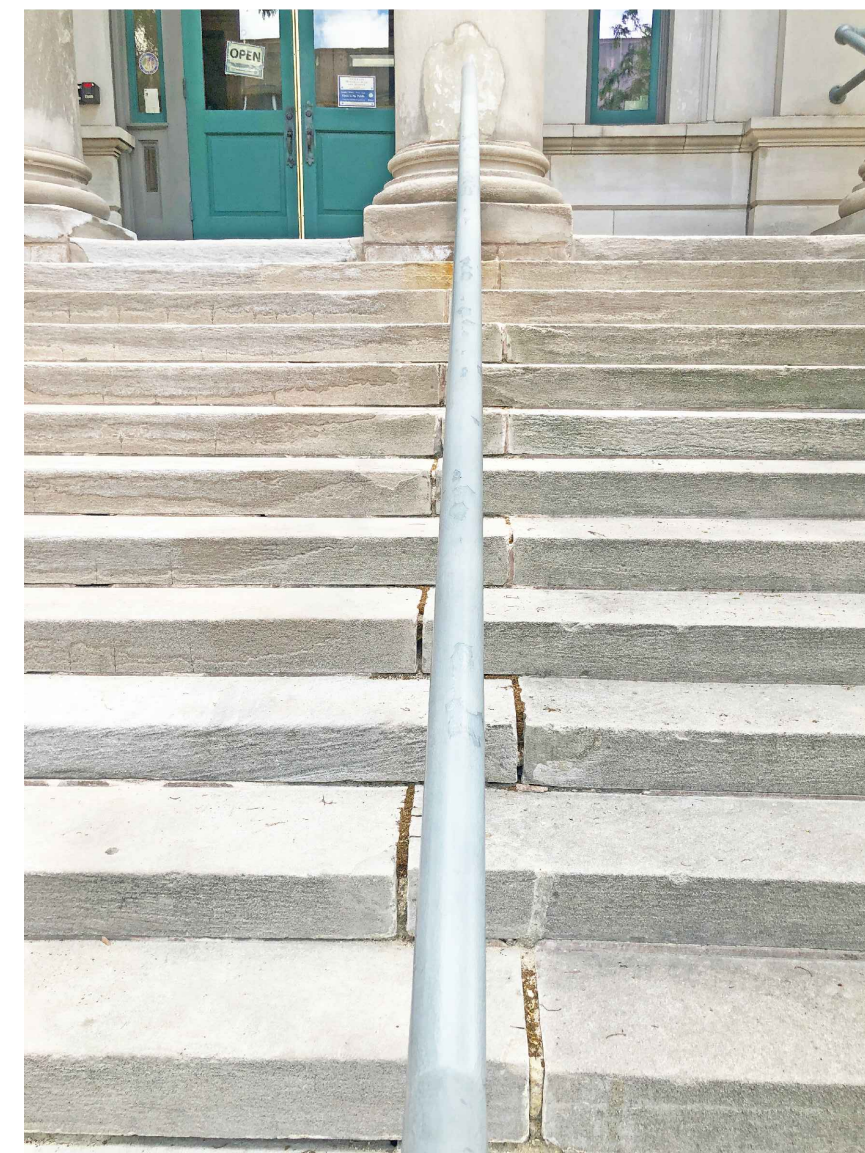


5
OBSERVATION:
EXTERIOR STAIR HANDRAIL IS SEVERELY RUSTED AND
THE PAINT IS PEELING
RECOMMENDATION:
SCRAPE AND REMOVE ALL LOOSE PAINT AND RUST,
TREAT SOLID RUST, SAND OTHER SURFACES TO
BLEND SURFACE FINISHES, CLEAN PRIME AND APPLY
MIN 2 COATS FINISH PAINT.

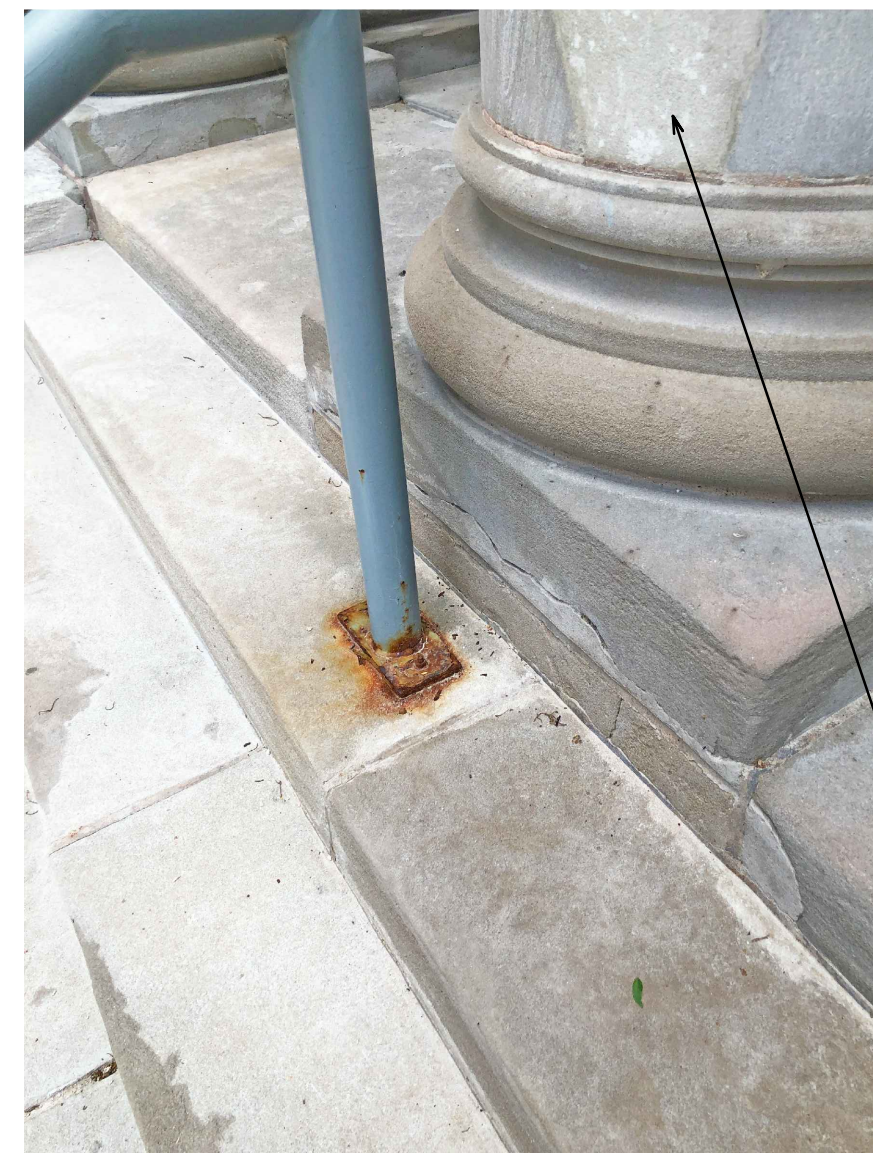


6
OBSERVATION:
EXTERIOR STAIR HANDRAIL IS SEVERELY RUSTED AND
THE PAINT IS PEELING
RECOMMENDATION:
SCRAPE AND REMOVE ALL LOOSE PAINT AND RUST,
TREAT SOLID RUST, SAND OTHER SURFACES TO
BLEND SURFACE FINISHES, CLEAN PRIME AND APPLY
MIN 2 COATS FINISH PAINT.

OBSERVATION:
STONE STEP IS SEVERELY DISPLACED
RECOMMENDATION:
SEE STAIR WORK NOTES THIS SHEET



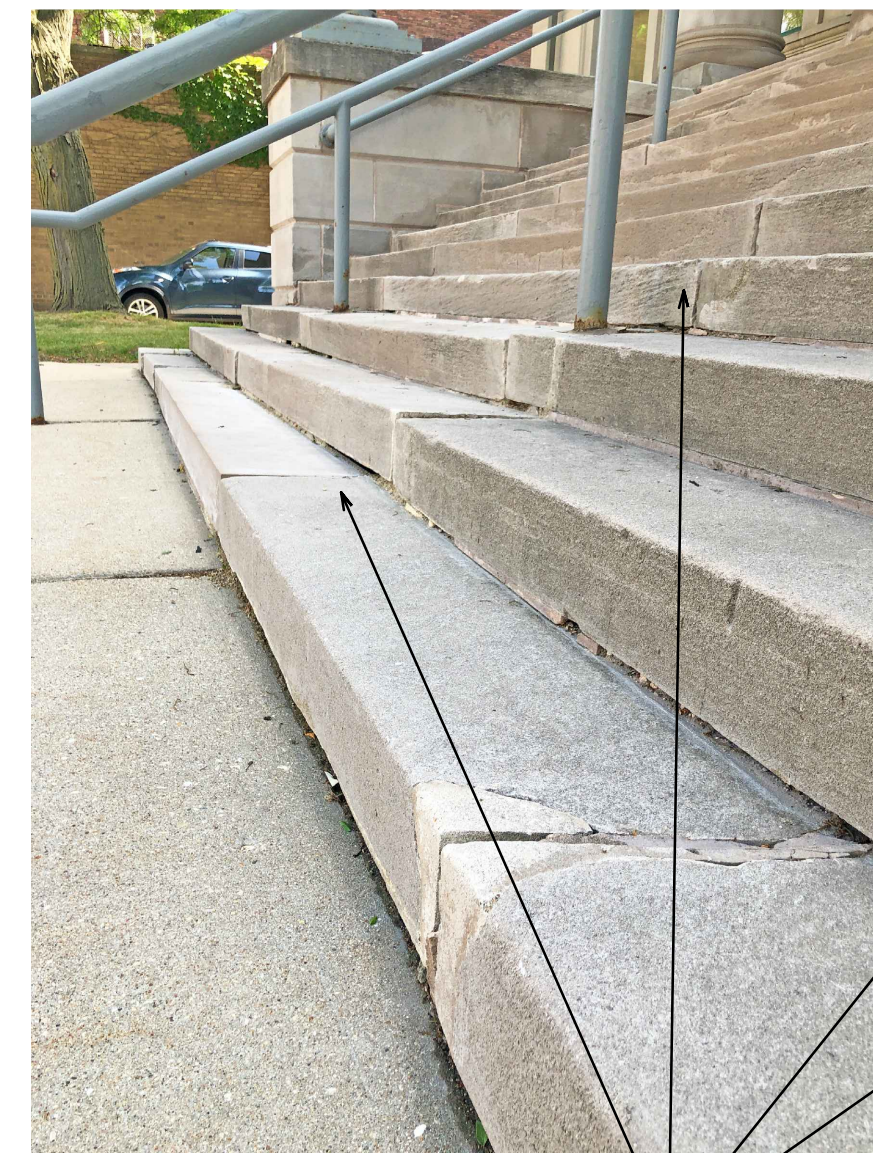
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OBSERVATION:
EXTERIOR STAIR HANDRAIL IS SEVERELY RUSTED AND
THE PAINT IS PEELING
RECOMMENDATION:
SCRAPE AND REMOVE ALL LOOSE PAINT AND RUST,
TREAT SOLID RUST, SAND OTHER SURFACES TO
BLEND SURFACE FINISHES, CLEAN PRIME AND APPLY
MIN 2 COATS FINISH PAINT.



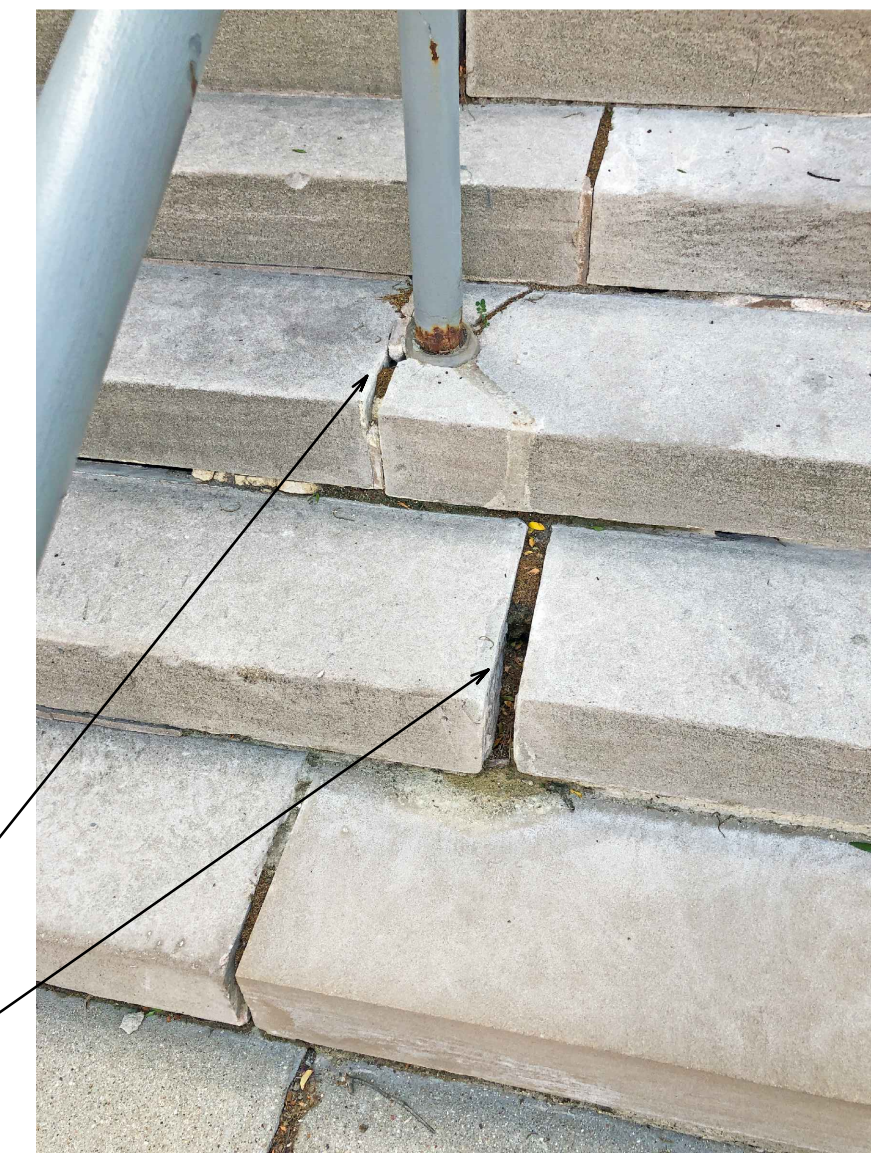
8
OBSERVATION:
EXTERIOR STAIR HANDRAIL IS SEVERELY RUSTED AND
THE PAINT IS PEELING
RECOMMENDATION:
SCRAPE AND REMOVE ALL LOOSE PAINT AND RUST,
TREAT SOLID RUST, SAND OTHER SURFACES TO
BLEND SURFACE FINISHES, CLEAN PRIME AND APPLY
MIN 2 COATS FINISH PAINT.



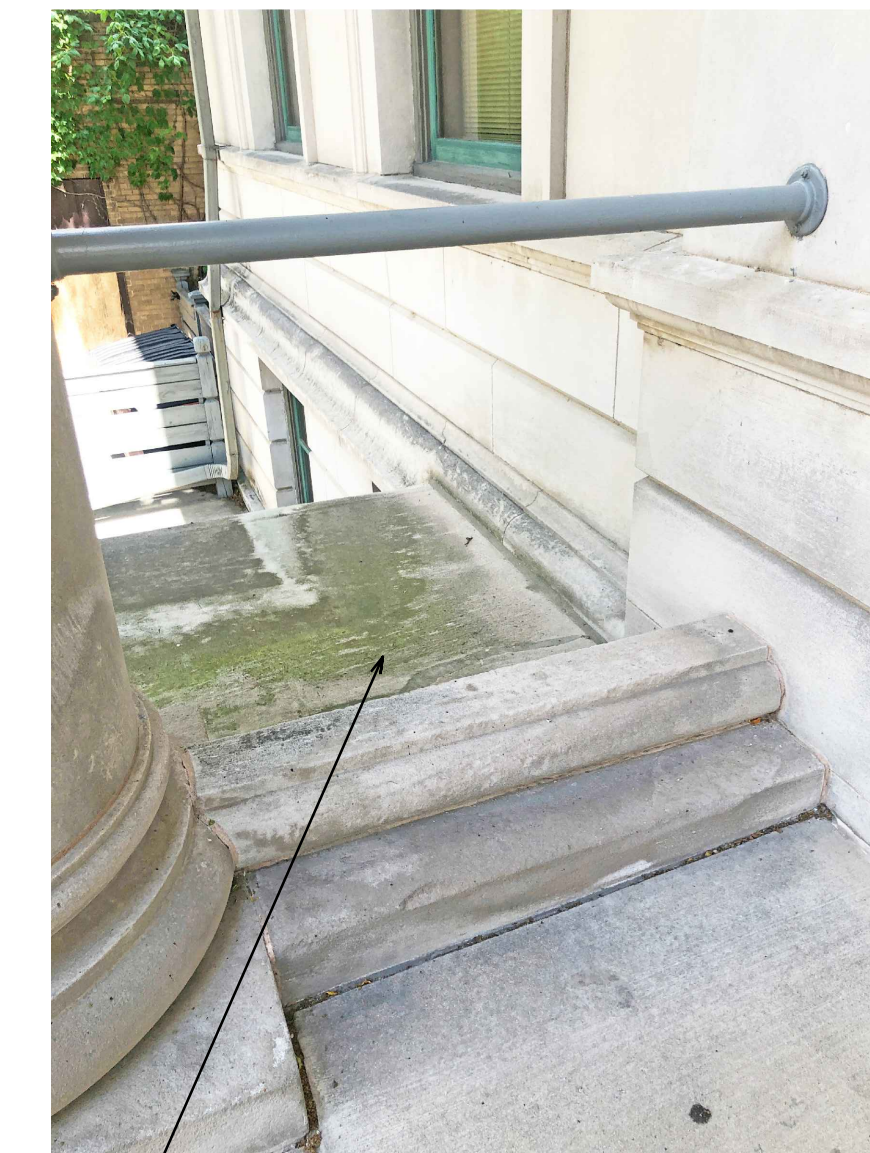
9
OBSERVATION:
EXISTING STONE REPAIRS ON COLUMNS DON'T
MATCH THE ORIGINAL STONE COLOR WELL
RECOMMENDATION:
CLEAN AND STAIN EXISTING REPAIR TO BETTER
BLEND WITH THE ORIGINAL STONE



10
OBSERVATION:
STONE STEPS ARE CRACKED AND SEVERELY DISPLACED
RECOMMENDATION:
SEE STAIR WORK NOTES THIS SHEET



11



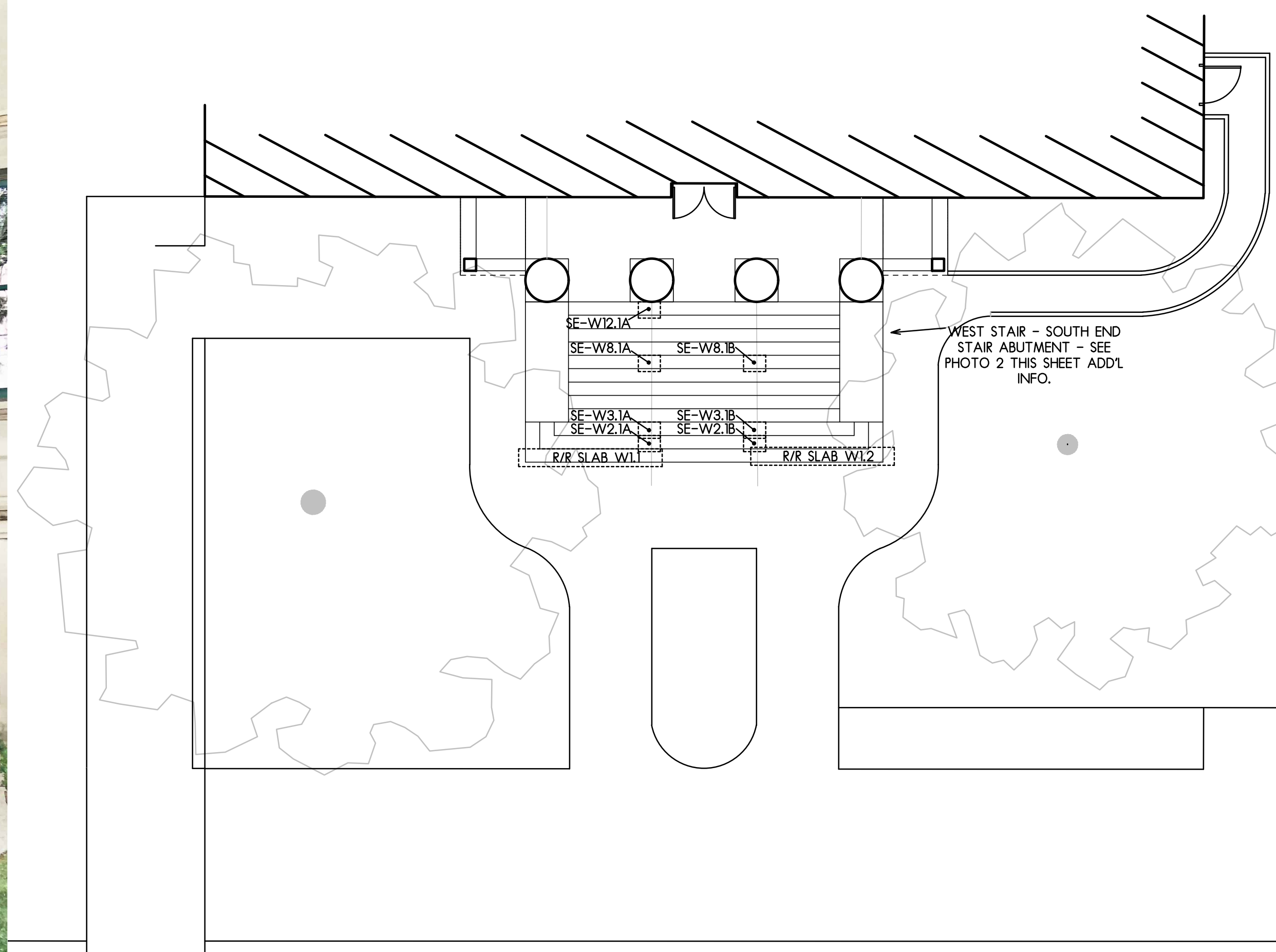
12
OBSERVATION:
EXISTING STONE "ROOF SLAB OVER LOWER ENTRY IS
STAINED
RECOMMENDATION:
CLEAN BY POWER WASHING

GENERAL NOTES

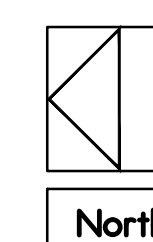
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- CAREFULLY COORDINATE WORK WITH THE OWNER.
- COORDINATE AND COOPERATE WITH OTHER WORK WHICH MAY BE TAKING PLACE SIMULTANEOUSLY ON-SITE.
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WEST STAIR - SOUTH END
STAIR ABUTMENT - SEE
PHOTO 2 THIS SHEET ADD'L
INFO.



2
**DIAGRAMMATIC
WEST WALK/ MAIN STAIR PLAN**
NOT TO SCALE



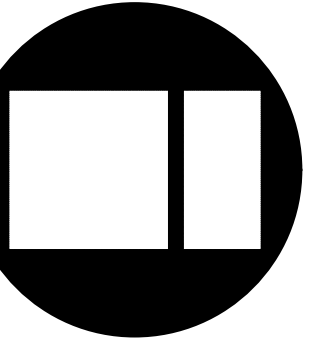
**WEST:
EXTERIOR MAIN STONE STAIR WORK:**

- THE NOTED STONE STAIR SLABS SHALL BE COMPLETELY REMOVED AND REPLACED WITH NEW STONE TO MATCH EXISTING:
 - STONE SLABS W11 & W12 (FULL-SIZE SLAB-REPLACEMENT)
- THE NOTED SECTIONS OF BROKEN STONE STAIR SLAB ENDS SHALL HAVE BROKEN END/ LOOSE PIECES REMOVED AND CLEANED; DRILL-IN AND EPOXY ANCHOR NEW DOWEL PINS INTO ADJACENT EXISTING SOLID STONE AND INSTALL NEW SYNTHETIC STONE REPAIR SYSTEM PER MANUFACTURER'S REQUIREMENTS; STAIN TO APPROX. BLEND-IN REPAIRS WITH ADJACENT EXISTING STONE:
 - STONE SLAB ENDS SE-W2.1 A & B.
 - STONE SLAB ENDS SE-W3.1 A & B.
 - STONE SLAB ENDS SE-W8.1 A & B.
 - STONE SLAB ENDS SE-W12.1 A
- STONE STEP JOINTS SHALL BE CLEANED OF LOOSE MORTAR/ DEBRIS; GRIND MORTAR DOWN TO BE APPROX 1" BELOW SURFACE; INSTALL NEW MORTAR IN ALL STONE STAIR JOINTS UP TO APPROX 1 INCH FROM THE FINISH STONE SURFACES; INSTALL NEW BACKER ROD AND NEW WALKABLE GRADE HIGH QUALITY URETHANE JOINT SEALANT SYSTEM; CLEAN-UP ALL AREAS.
- SEE SPECS FOR ADDITIONAL ALL AREAS.

WEST MAIN EXTERIOR STAIR

SCALE:

NTS



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ISSUED FOR:	DATE:
DRAWN:	APPROVED:
RJC	JFW

DATE: 08-18-2021
PROJECT NUMBER: 30271-2
SHEET NUMBER: A3.6



1 OBSERVATION:
STONE STEPS ARE DAMAGED AND DISPLACED

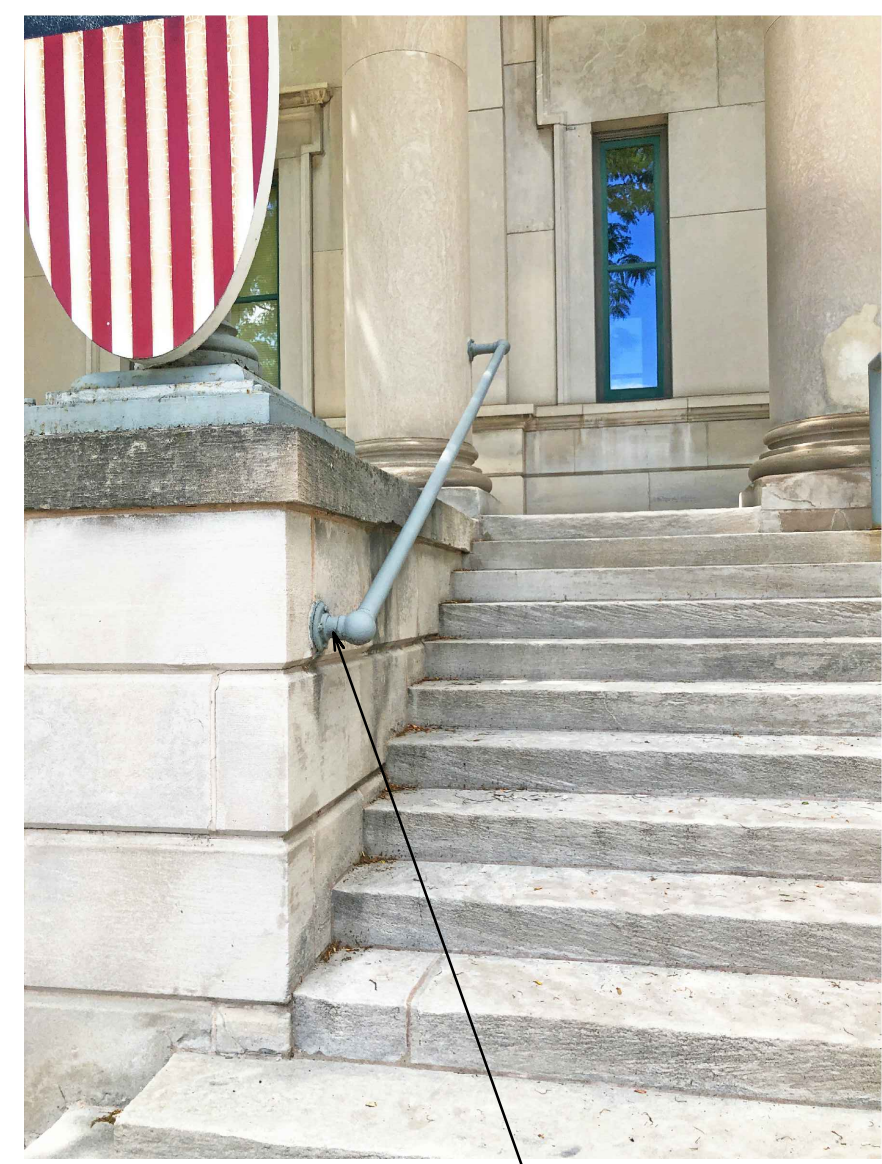
OBSERVATION:
STONE WALL HAS CRACKED UNITS
RECOMMENDATION:
REPAIR CRACKS.

RECOMMENDATION:
SEE STAIR WORK NOTES THIS SHEET



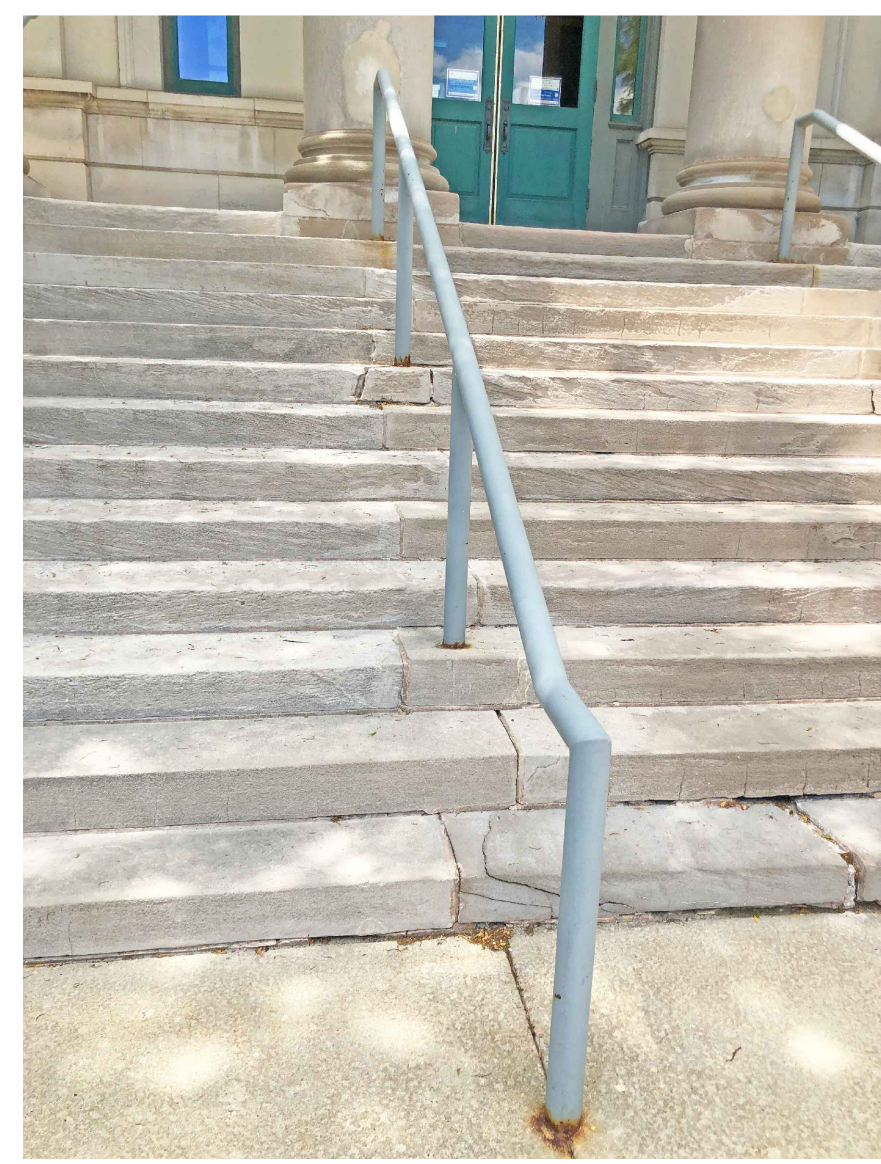
2 OBSERVATION:
STONE WALL AND BASE IS DAMAGED AND STONE
BASE IS DISPLACED

RECOMMENDATION:
SEE STAIR WORK NOTES THIS SHEET



3 OBSERVATION:
EXTERIOR STAIR HANDRAIL IS SEVERELY RUSTED AND
THE PAINT IS PEELING

RECOMMENDATION:
SCRAPE AND REMOVE ALL LOOSE PAINT AND RUST,
TREAT SOLID RUST, SAND OTHER SURFACES TO
BLEND SURFACE FINISHES, CLEAN PRIME AND APPLY
MINI 2 COATS FINISH PAINT. SEAL JOINT BETWEEN
HANDRAIL BRACKET AND STONE WALL



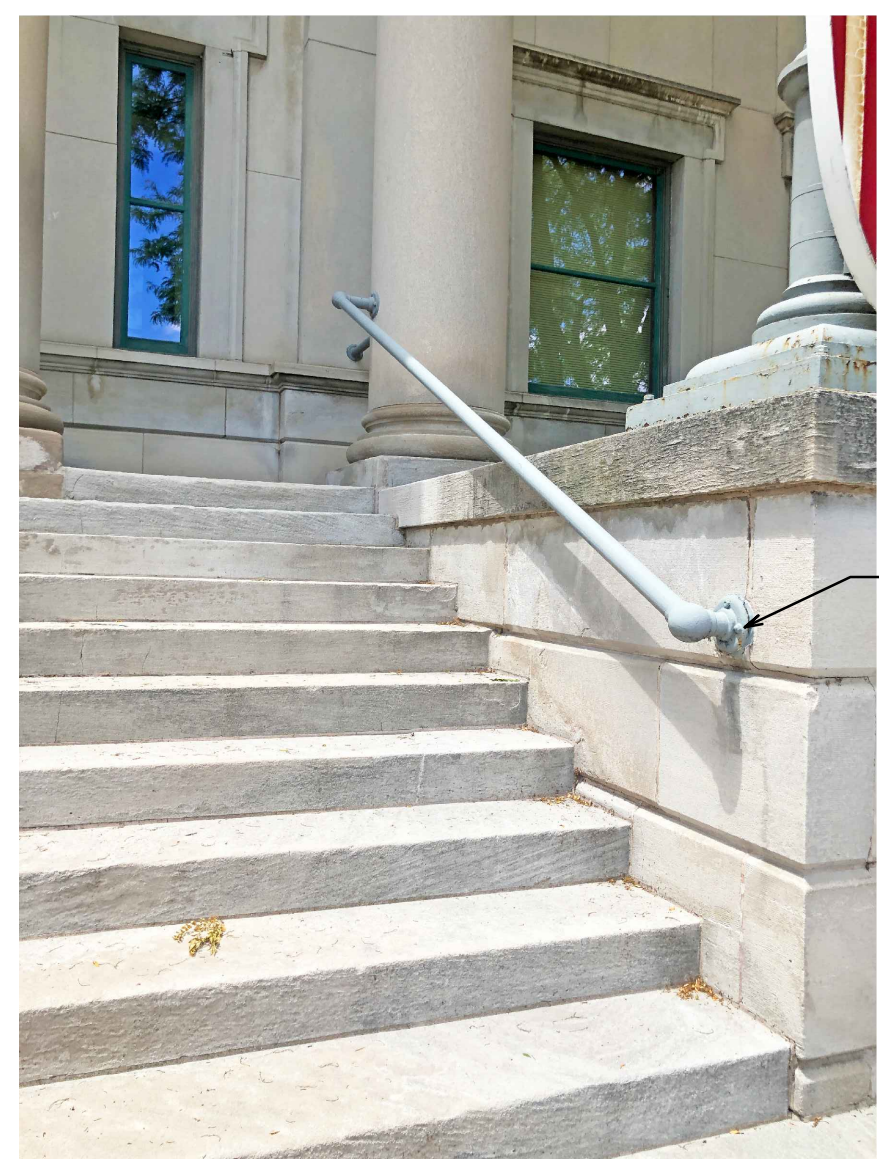
4 OBSERVATION:
EXTERIOR STAIR HANDRAIL IS SEVERELY RUSTED AND
THE PAINT IS PEELING

RECOMMENDATION:
SCRAPE AND REMOVE ALL LOOSE PAINT AND RUST,
TREAT SOLID RUST, SAND OTHER SURFACES TO
BLEND SURFACE FINISHES, CLEAN PRIME AND APPLY
MINI 2 COATS FINISH PAINT.



5 OBSERVATION:
STONE STEPS ARE DAMAGED AND DISPLACED

RECOMMENDATION:
SEE STAIR WORK NOTES THIS SHEET



OBSERVATION:
EXTERIOR STAIR HANDRAIL IS SEVERELY RUSTED AND
THE PAINT IS PEELING

RECOMMENDATION:
SCRAPE AND REMOVE ALL LOOSE PAINT AND RUST,
TREAT SOLID RUST, SAND OTHER SURFACES TO
BLEND SURFACE FINISHES, CLEAN PRIME AND APPLY
MINI 2 COATS FINISH PAINT. SEAL JOINT BETWEEN
HANDRAIL BRACKET AND STONE WALL



7 OBSERVATION:
EXTERIOR STAIR LIGHT POSTS ARE SEVERELY RUSTED
AND THE PAINT IS PEELING

RECOMMENDATION:
SURFACE PREPARATION FOR MPI DSD 3

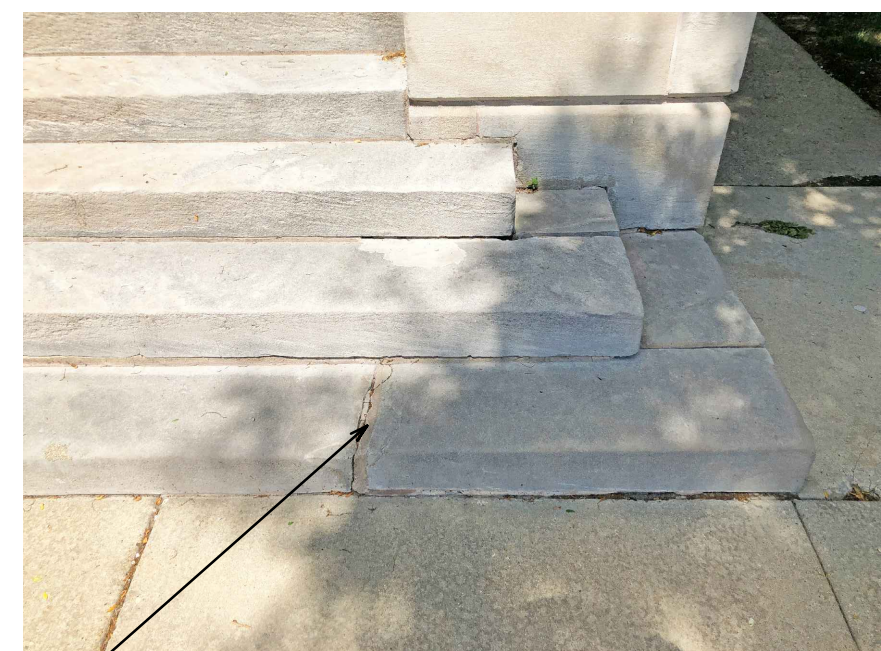


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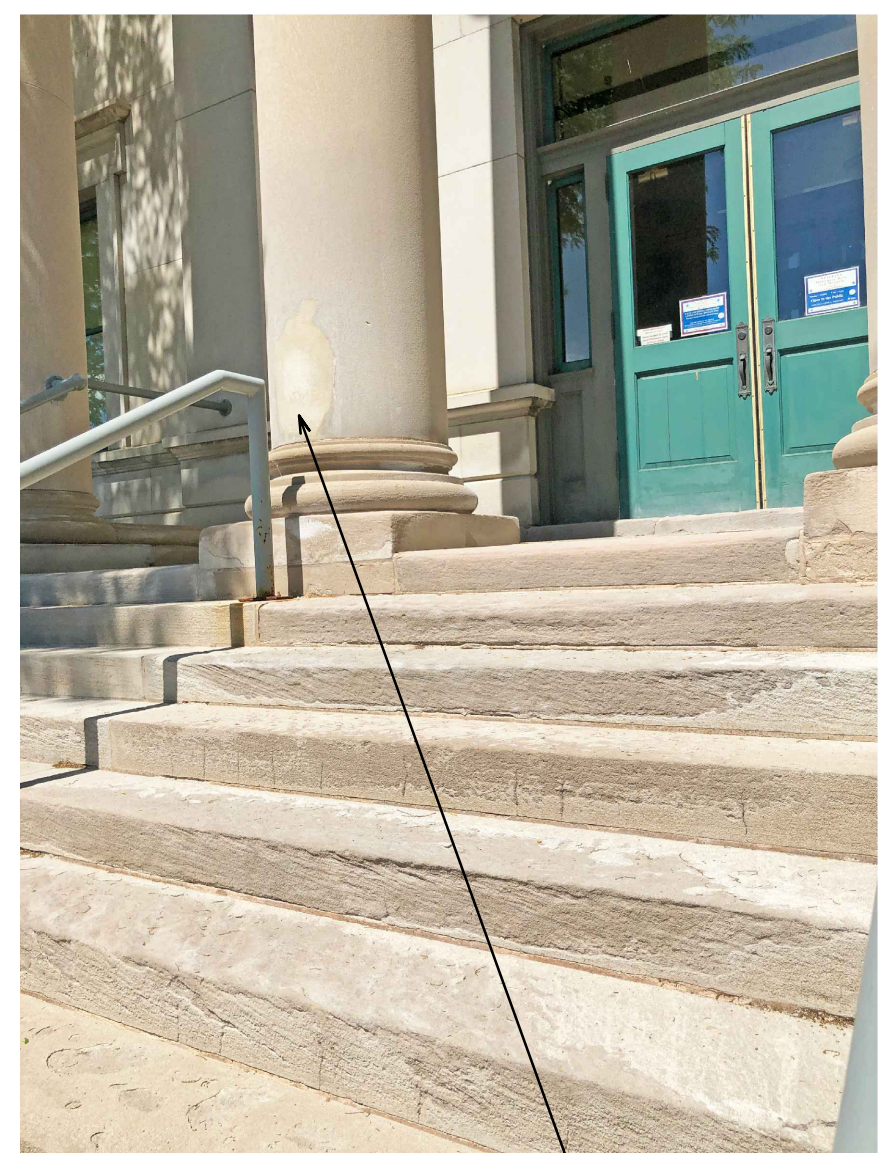


9 OBSERVATION:
STONE STEPS ARE DAMAGED AND DISPLACED

RECOMMENDATION:
SEE STAIR WORK NOTES THIS SHEET



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11 OBSERVATION:
EXISTING STONE REPAIRS ON COLUMNS DON'T
MATCH THE ORIGINAL STONE COLOR WELL

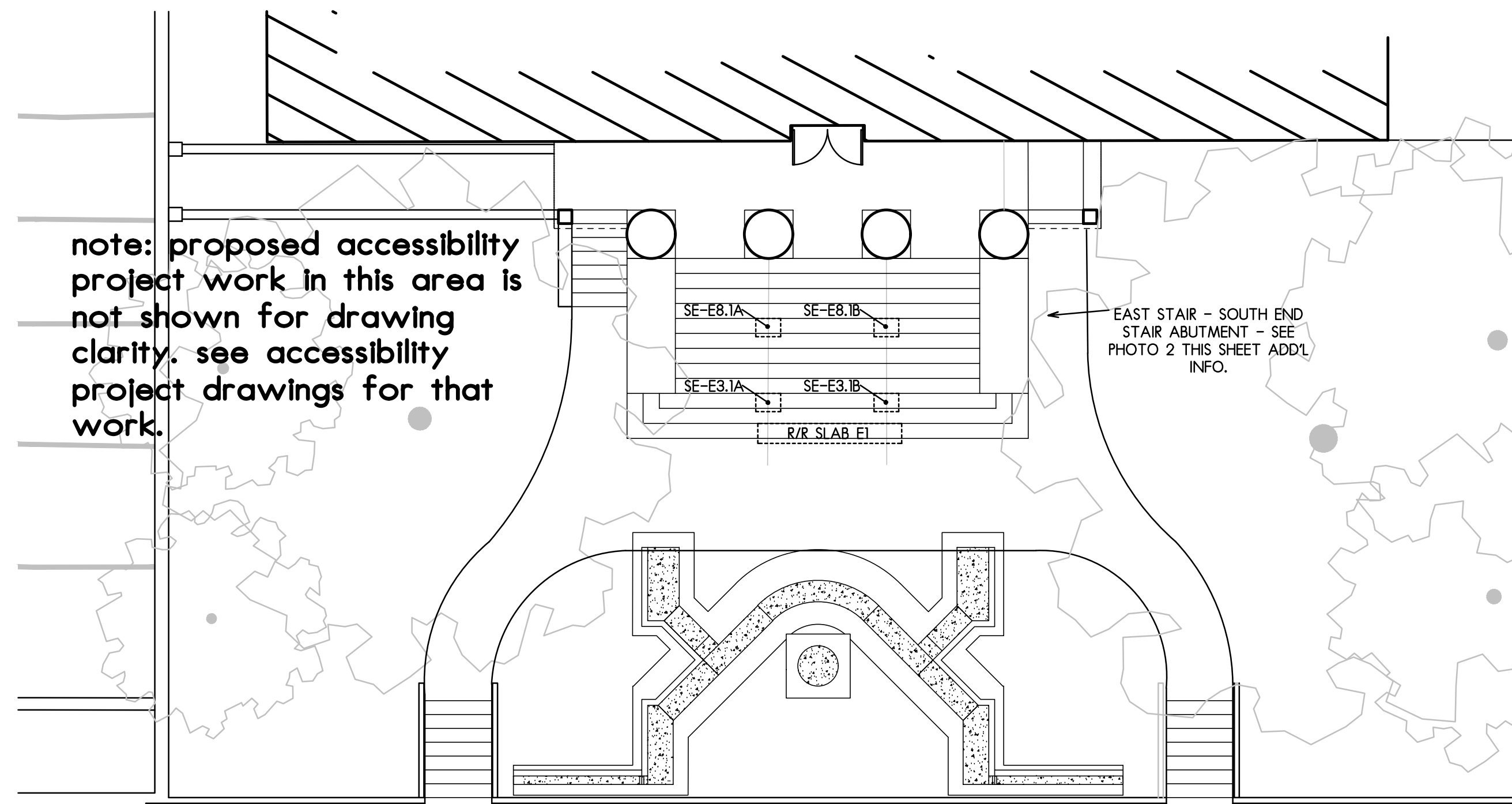
RECOMMENDATION:
CLEAN AND STAIN EXISTING REPAIR TO BETTER
BLEND WITH THE ORIGINAL STONE



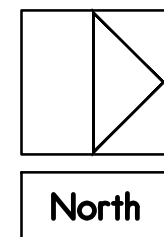
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GENERAL NOTES

- REFER TO THE BID FORM FOR DESCRIPTIONS OF WORK EACH AREA. THE OVERALL SCOPE OF WORK WILL BE LIMITED DUE TO BUDGET CONSTRAINTS AND WILL GENERALLY INVOLVE:
 - CLEANING EXTERIOR FACADE AND POWER WASHING
 - LIMITED TUCK-POINTING
 - PREP WORK AND PAINTING EXTERIOR WINDOWS AND DOOR (EXCEPT NO DOORS ON EAST ARE TO BE INCLUDED BUT INCLUDE DOOR FRAMES)
 - FILLING DOWNSPOUT HOLES, PRIMING AND PAINTING
 - REPLACING SOME GUTTER ANCHORS
 - REPAIRING BROKEN STONE WALL PANELS
 - REPLACING SOME STONE STEPS
 - MISC METAL FASCIA/SOFFIT REPAIRS AND PAINTING
 - PREPPING, PRIMING AND PAINTING HANDRAILS AND 4 DECORATIVE LIGHT POSTS
 - OTHER MISCELLANEOUS RELATED WORK.
- THE CONTRACTOR MUST VISIT THE SITE PRIOR TO BIDDING AND CAREFULLY EXAMINE AND MEASURE ALL AFFECTED AREAS AS REQUIRED.
- THE CONTRACTOR MAY TRIM-BACK PLANTINGS AS REQUIRED TO PERFORM THE WORK TAKING CARE NOT TO DESTROY SIGNIFICANT PLANTINGS.
- REMOVE ALL WASP NESTS AND MISC VINES GROWING ON THE BUILDING FACADE IN AFFECTED AREAS.
- CLEAN-UP WORK AREAS AT THE END OF EACH WORK DAY AND PERFORM FINAL CLEANING AT END OF PROJECT.
- CAREFULLY COORDINATE WORK WITH THE OWNER.
- COORDINATE AND COOPERATE WITH OTHER WORK WHICH MAY BE TAKING PLACE SIMULTANEOUSLY ON-SITE.
- REMEMBER DO NOT BE OVERLY AGGRESSIVE WITH POWER WASHING TO AVOID DAMAGE TO MATERIALS.
- SEE THE PROJECT MANUAL FOR ADDITIONAL NOTES AND INFORMATION.
- SEE PROJECT MANUAL SECTION 09 01 00.52 MAINTENANCE REPAIRING FOR DESCRIPTION OF VARIOUS DEGREES OF SURFACE DEGRADATION (DSD).



2 DIAGRAMMATIC EAST WALK & STAIR PLAN NTS



**EAST:
EXTERIOR MAIN STONE STAIR WORK**

- THE NOTED STONE STAIR SLABS SHALL BE COMPLETELY REMOVED AND REPLACED WITH NEW STONE TO MATCH EXISTING:
 - STONE SLABS E1 (FULL-SIZE SLAB - REPLACEMENT)
- THE NOTED SECTIONS OF BROKEN STONE STAIR SLAB ENDS SHALL HAVE BROKEN END/ LOOSE PIECES REMOVED AND CLEANED; DRL-IN AND EPOXY ANCHOR NEW DOWEL PINS INTO ADJACENT EXISTING SOLID STONE AND INSTALL NEW SYNTHETIC STONE REPAIR SYSTEM PER MANUFACTURERS REQUIREMENTS; STAIN TO BLEND-IN WITH ADJACENT EXISTING STONE SLABS.
 - STONE SLAB ENDS SE-ES.1 A & B
 - STONE SLAB ENDS SE-ES.1 A & B
- STONE STEP JOINTS SHALL BE CLEANED OF LOOSE MORTAR/ DEBRIS; GRIND MORTAR DOWN TO BE APPROX 1" BELOW SURFACE; INSTALL NEW MORTAR IN ALL STONE STAIR JOINTS UP TO APPROX 1 INCH FROM THE FINISH STONE SURFACES; INSTALL NEW BACKER ROD AND NEW WALKABLE GRADE HIGH QUALITY URETHANE JOINT SEALANT SYSTEM; CLEAN-UP ALL AREAS.
- SEE SPECS FOR ADDITIONAL ALL AREAS.

EAST MAIN EXTERIOR STAIR

SCALE:

NTS

