

## **ADDENDUM TWO**

Project No.: **PROJECT NUMBER 22-020  
IFB NO. 22B-2240**

Date: **SEPTEMBER 8, 2022**

Subject: **CHANGES TO BIDDING DOCUMENTS**

Project: **ADDITION & RENOVATIONS WORK AT  
WINNEBAGO COUNTY ANIMAL SERVICES  
ROCKFORD, ILLINOIS**

Bids Due: **2:00PM, TUESDAY, SEPTEMBER 13, 2022**

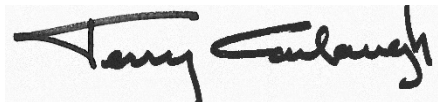
From: **RICHARD L. JOHNSON ASSOCIATES, INC.  
4703 CHARLES STREET  
ROCKFORD, IL 61108**

To: **ALL PROJECT DOCUMENT HOLDERS**

Please reproduce this Addendum as needed, and attach to the Project Manuals for the above project.

Bidders shall indicate receipt of this and all Addenda in the space provided on the Bid Form. Failure to do so may be sufficient cause to reject the bid.

Sincerely,  
**RICHARD L. JOHNSON ASSOCIATES, INC.**



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Terry Carbaugh, Principal

This Addendum consists of:

Pages 1 thru 3.

Revised Mandatory Pre-Bid Meeting Notes.

Revised Section 002213 Supplementary Instructions to Bidders.

Revised Architectural Drawing G101 with a revised date of September 8, 2022.

Revised Structural Drawings S201 & S301 with a revised date of September 8, 2022.

**NOTE:** Wherein this Addendum conflicts with the original Project Manual and Drawings, this Addendum shall govern.

## **ADDENDUM ONE CLARIFICATION**

- 1.1. The revised bid form in addendum one, did not include the County's forms. Contractors shall use the County's forms provided in the project manual.

## **CHANGES to the Mandatory Pre-Bid Meeting Notes**

### 1.2. GENERAL ITEMS:

- Notes 25, 26, have been revised.

### 1.3. DISCUSSION ITEMS:

- Notes 2 has been revised.

## **CHANGES to the PROJECT MANUAL**

### 2. **SECTION 002213 SUPPLEMENTARY INSTRUCTIONS TO BIDDERS**

#### 2.1. Page 002213-3, Para. 5.2.2. F:

- ITEM, F "IMPORTANT NOTE TO ALL BIDDERS" was deleted.

## **CHANGES to the Architectural Drawings**

### 3. **SHEET G101**

#### 3.1. Delete sheet G101 and replace it with attached sheet G101 with a revision date September 8, 2022.

- Room Finish Schedule, Note 2 was added and applies to Dog Ward Rooms A19, A22 and A25.

## **CHANGES to the Structural Drawings**

### 4. **SHEET S201**

#### 4.1. Delete sheet S201 and replace it with attached sheet S201 with a revision date September 8, 2022.

- Note 12 was added, reinforcement of interior non-loadbearing walls.

### 5. **SHEET S301**

#### 5.1. Delete sheet S301 and replace it with attached sheet S301 with a revision date September 8, 2022.

- Masonry Shear Wall, Horizontal joint reinforcing note was revised.

## **BIDDING QUESTIONS and Answer LOG**

**6.** Winter Construction (9.1.2022):

- Is a second site visit required? Or can we use the site visit we did after the Mandatory Pre-Bid as our site visit?  
*Response: Additional site visits are encouraged, but the site visit during the Prebid meeting fulfills the requirement.*

**7.** Winter Construction (9.1.2022):

- There are (2) addendum 1's are they both the same?  
*Response: They are the same. Addendum One that was all in CAPS was renamed to read VOID. The correct addendum one is labeled (22-020 Addendum One.PDF).*

**8.** Engel Electric (9.7.2022):

- Do you happen to know the existing fire alarm manufacturer for the Winnebago County Animal Shelter Addition? Specs and prints have no information. Not even what the symbols mean. I can figure out the symbols just not the manufacturer. Any help would be appreciated.  
*Response: The FACP (which is existing) is a Notifier Model #SPF-4008. The devices are Notifier also.*

## **END ADDENDUM NUMBER 2**

## **MANDATORY PRE-BID MEETING NOTES**

### **IFB No. 22B-2240 Addition and Renovations at Winnebago County Animal Services**

**RLJA Job # 22-020**

#### **MANDATORY PRE-BID DATE & TIME:**

**Tuesday, August 30, 2022 @ 9:00am., Winnebago County Animal Services**

#### **GENERAL ITEMS**

1. Meeting Sign-Up Sheets were passed around to attendees.
2. Introductions were completed.
3. Bids are due on Tuesday, September 13, 2022, at 2:00 pm
  - a. Submit Bids to:  
**Ann Johns**  
**Director of Purchasing**  
**Room 202**  
**Winnebago County Administration Building**  
**404 Elm Street, Rockford, IL.**
4. Bids will be opened and read aloud in Room 303.
5. All bids shall be submitted in a sealed envelope.  
**“22B-2240 Additions and Renovations at Winnebago County Animal Services**
6. Base Bid includes all work except what is included in Alternate Bids #1, #2, #3 #4 and #5.
7. Alternate Bids:
  - a. All work required for demolition and remodeling work associated with Reception A1, Waiting A2, and Office A3.
  - b. All work required for Replacement of Site Lighting
  - c. All work required with the replacement of existing rooftop units RTU-1, RTU-2, and RTU-3.
  - d. All work required with providing electronic air filtering system to existing RTU-1, RTU-2, and RTU-3.
  - e. Provide 100% Performance & Payment Bond.
8. Complete all County form that are included with Bid Form.
9. The materials used on the project are Tax Exempt.
10. 5% Bid Bond MUST Accompany the Bid.
11. 100% Performance & Payment Bond is required for base bid only.
12. Liquidated damages are not included in this project.
13. Prevailing wages rates must be in accordance with all federal laws and laws by the state.
14. The building permit will be obtained by the Architect thru the City of Rockford.
15. The project is bid out to General Contractors under one contract.
16. Last RFI date is Friday, September 2, 2022.
17. Last Addendum date is Tuesday, September 6, 2022.
18. Contact Brett Frazier at 608-359-5739 (cell) to schedule any additional site visits. Site visits can take place between the hours of 7:00am and 5:00pm, Monday through Friday.

**Addendum Two**

19. Bidders shall address questions and correspondence to the following: (email is preferred)  
 Mr. Allan Johnson  
 Richard L. Johnson Associates Architects  
 4703 Charles Street  
 Rockford, Illinois 61108  
 Phone: (815) 398-1231  
 Email: [ajohnson@rljarch.com](mailto:ajohnson@rljarch.com)
20. A site inspection and date of the inspection is required on the bid form.
21. Mark the number of addendums you receive on the bid form. Visit our website or contact our office the morning the bids are due to make sure you have the correct number of addendums listed on the bid form.
22. Contractors can tap off the existing building's electrical and water services for construction purposes.
23. Contractor shall provide portable toilet facilities.
24. Construction meetings are required during construction. Contractor to take meeting notes and distribute. Construction meetings will be held at weekly intervals.
25. Job trailer requirements will be clarified in **addendum one**.
26. Construction fencing requirements will be clarified in **addendum one**.
27. All construction testing will be paid by the Owner.
28. Contractor's work schedule can be 7:00 AM - 6:00 PM. Working weekends are allowed, with prior notification to the owner.
29. The building will remain in operation during construction. Mechanical shutdowns must be coordinated with the owner. Shut down must not disrupt day to day operations.
30. The contractor shall employ a full-time superintendent. That superintendent shall be always on site when work is taking place at the project site, until substantial completion.
31. The construction schedule is shown below:
- |                      |   |
|----------------------|---|
| Board Award          | October 14, 2022                        |
| Start Addition       | March 20, 2023                          |
| Complete Addition    | September 14, 2023                      |
| Start Renovations    | As soon as the addition can be occupied |
| Complete Renovations | November 20, 2023                       |
32. The project was briefly reviewed and was followed with a walk-thru of the project site.

## DISCUSSION ITEMS

1. An existing sprinkler system exist in a select few rooms. Contractor shall coordinate with local authorities if system is to be shut down.
2. Existing Condensers at loading dock might need to remain working during construction. This will be clarified in **addendum one**.
3. Curb adaptors will be required for new RTU'S that replace existing RTU's.
4. Electrical contractor will provide rough ins only for proxy readers. Owner to install system and wiring.

## END OF MEETING NOTES

**Addendum Two**

DIVISION 00 PROCEDURAL AND CONTRACTING REQUIREMENTS

**SECTION 002213**

**SUPPLEMENTARY INSTRUCTIONS TO BIDDERS**

**GENERAL**

- A. The standard American Institute of Architects (AIA) Document A701, "Instructions to Bidders," 1997 Edition, attached hereto, shall apply in full except for the modifications and supplementary instructions specified in this Section.
- B. Owner requests Stipulated Sum Base Bids for work contemplated, as covered by the Project Manual and accompanying Drawings.
- C. The laws of Illinois shall govern the solicitation and award of the Contract.

**2.1.3 EXISTING CONDITIONS**

- A. Bidders must visit the site to survey existing conditions. Site visit is a mandatory requirement for General Contractor Bidders and must be acknowledged on Bid Form.
- B. Subcontractors are urged to visit the site to survey existing conditions, but it is not a mandatory requirement for them in submitting prices to General Contractor Bidders.
- C. During the Bidding Period, the site will be available to Bidders' inspection during weekday daytime hours, upon request to Brett J. Frazier: **Cell Phone: 608-359-5739.**

**2.1.5 PERMITS AND FEES**

- A. The Owner (Winnebago County) will pay for any permit fees required by the City of Rockford.

**2.1.6 TAXES**

- A. Sales Tax: According to Tax Rule #15 (Illinois Retailer's Occupational Tax, 2-1-69), supplies and materials used on this project are exempt from the Retailer's Occupational Tax and therefore said tax shall not be included in bid amounts.
- B. This project is exempt from Federal Excise Tax

**2.1.7 EMPLOYMENT AND WAGES PAID**

- A. Wage Rules:
  - 1. Each craft, type of worker and mechanic needed to execute the Contract shall be paid the prevailing wage rate for the locality in which the work is performed, in accordance with all federal laws and laws of the State as well as ordinances and regulations applicable to the work hereunder and having force of law.
  - 2. If, during the course of the Contract, the Department of Labor revises the prevailing wage rates, the Contractor shall have the sole responsibility and duty to ensure that wages paid, whether to employees of the Contractor or any subcontractor, are paid according to the revised prevailing rates. Revisions of the prevailing wage rates shall not be cause for an increase in the Contract Sum.
  - 3. Each Bidder may obtain a copy of the Prevailing Wage Rates for Winnebago County from the Illinois Department of Labor.

### **3.2 INTERPRETATION OR CORRECTION OF THE BIDDING DOCUMENTS**

Add to 3.2.2:

- .1 Bidders shall address questions and correspondence to the following for:

Bidding Procedures & General Construction Technical Specifications

Mr. Allan Johnson

Richard L. Johnson Associates Architects

4703 Charles Street

Rockford, Illinois 61108

Phone: (815) 398-1231

Mr. Trevor Larson E.I.

Chastain & Associates LLC

6832 Salter Drive, Suite 100

Rockford, Illinois 61108

Phone: (815) 489-0050

### **3.3 SUBSTITUTIONS**

Delete items 3.3.1, 3.3.2, 3.3.3 and 3.3.4 as written and substitute the following:

- 3.3.1 Bids shall be based upon the items, materials and manufacturers indicated by the Specifications and Drawings, with only such modifications as are made by Addenda.
- 3.3.2 Bidders desiring to make substitutions for items indicated by the Drawings, Specifications and Addenda, shall list such proposed substitutions in the Substitutions space included in the Bid Form, together with the amounts to be added to or deducted from their Base Bid should any such proposed substitutions be acceptable. Substitutions so listed will not be a determining factor in the award of the Contract.
- 3.3.3 Materials reviewed by the Architect during the bid period and not mentioned in an Addendum may be listed as substitutions to be considered for inclusion into the Contract.
- 3.3.4 Substitutions initiated by the Contractor and not listed on the Bid Form will NOT be reviewed by the Architect after opening of Bids.

### **4.1 FORM AND STYLE OF BIDS**

Add to 4.1.1

- .1 Bids shall be submitted in **duplicate** on furnished forms.

#### **4.1.5 ALTERNATE BIDS**

- A. Only such Alternate Bids as are specifically requested on the Bid Form will be considered.
- B. The amount proposed for any Alternate Bid requested shall be held valid for a minimum of 90 days beyond time allowed for withdrawal of bids.

#### **4.1.8 TIME OF PERFORMANCE**

- A. Work shall commence upon notification by the Owner to proceed.
- B. Work shall be substantially complete in the number of calendar days stated on the Bid Form.

## **4.2 BID SECURITY**

- A. Bid Security in the amount of 5% of the sum of the Base Bid and all add alternates that can apply shall be submitted with the Bid in the form of a certified check, cashier's check, bank draft, or bid bond from a bonding company with a Best rating of "B" or better, payable to the Owner.

## **4.3 SUBMISSION OF BIDS**

Add to 4.3.1

- .1 Submit Bids To:  
Ann Johns  
Director of Purchasing  
Room 202  
Winnebago County Administrative Building,  
404 Elm Street, Rockford, Illinois, 61101

Add to 4.3.2

- .1 Bids will be received until 2:00 P.M., **Tuesday, September 13**, 2022.

### **4.3.1 RECEIVING BIDS**

- A. All Bids shall be submitted in a sealed envelope boldly labeled with the words "SEALED BID ENCLOSED FOR "22B-2240 ADDITION & RENOVATIONS WORK AT WINNEBAGO COUNTY ANIMAL SERVICES, ROCKFORD, ILLINOIS".
- B. Bids received before the time set for receipt of Bids will be securely kept unopened. No responsibility will attach to the Owner or the Architect for premature opening of a Bid not properly identified.

### **5.2.2 REJECTION OF BIDS**

- A. The Contract will be awarded to the lowest qualified bidder complying with the conditions of the Bidding Documents, provided that the lowest bid submitted is reasonable and that it is to the interest of the Owner to accept it. Award will not be based on any substitutions other than those solicited in the descriptions of Alternates.
- B. Negligence on the part of the Bidder in preparing his Bid shall confer no right of withdrawal or modification of his Bid after the Bid has been opened.
- C. Bidders may be required to cooperate with the Owner and Architect by providing a detailed breakdown of prices bid in order to show, in the manner and form required by the Architect, the division of costs between the several divisions of the Work.
- D. The Owner reserves the right to reject any and all bids and to waive any irregularities in bids received whenever such rejection or waiver is in the interest of the Owner. The Owner also reserves the right to reject the bid of any bidder who has previously failed to perform properly or complete on time contracts of a similar nature; who is not in a position to perform the contract; or who has habitually and without just cause neglected the payment of bills or otherwise disregarded any obligation to subcontractors, material suppliers or employees. In determining the successful bidder, the following elements, in addition to those mentioned above, will be considered: Whether the bidder involved
  - (a) maintains a permanent place of business;
  - (b) has adequate plant equipment to do the work properly and expeditiously;



- (c) has a suitable financial status to meet the obligations incidental to the work; and
- (d) has appropriate technical experience.
- E. In case of a discrepancy between the prices quoted in words and those quoted in numbers, the prices quoted in words shall govern.

**F. DELETED.**

### **5.3.1 AWARD OF CONTRACT**

- A. The bidder to whom the award is to be made will be notified at the earliest possible date.
- B. The Bid, if accepted by the Owner, shall be awarded as a single contract to a General Contractor for all work of the project, including all subcontractor's work.

4.

### **7.1 PERFORMANCE BOND AND PAYMENT BOND**

7.1 - Bond Requirements:

Add Section 7.1.1.1:

7.1.1.1 - Both a Performance Bond and a Payment Bond will be required, each in an amount equal to 100% of the Contract Sum.

7.2 - Time of Delivery and Form of Bonds:

Delete the first sentence of Section 7.2.1 and insert the following:

The Bidder shall deliver the required bonds to Owner no later than 10 days after the date of Notice of Intent to Award and no later than the date of execution of the Contract, whichever occurs first. Owner may deem the failure of the Bidder to deliver required bonds within the period of time allowed a default.

Delete Section 7.2.3 and insert the following:

7.2.3 - Bonds shall be executed and be in force on the date of the execution of the Contract

**END SUPPLEMENTARY INSTRUCTIONS TO BIDDERS.**

**ABBREVIATIONS**

Table of abbreviations for construction terms including ACT (Acoust. Ceiling Tile System), ACU (Air Conditioning Unit), ADJ (Adjacent), ADS (Adjustable Shelves), AFF (Above Finish Floor), AHU (Air Handling Unit), AL (Aluminum), ALT (Alternate), AVG (Average), BD (Board), BITUM (Bituminous), BLDG (Building), BM (Beam), B/O (Bottom of), BRG (Bearing), BS (Backsplash), CAB (Cabinet), CB (Chalkboard), CJ (Control Joint), CLG (Ceiling), CLR (Clear), CMU (Concrete Masonry Unit), CO (Cleanout), COL (Column), CONC (Concrete), CONT (Continuous), CORR (Corridor), CPT (Carpet Tiles), CPT-W (Walk-off Carpet Tiles), CR (Coat Rod), CT (Ceramic Tile), CTR (Counter), CUH (Cabinet Unit Heater), CUV (Cabinet Unit Ventilator), DEF (Defibrillator), DF (Drinking Fountain), DIA (Diameter), DIM (Dimension), DN (Down), DP (Deep), DR (Door), DS (Downspout), DTL (Detail), DWG (Drawing), EA (Each), EEW (Emergency Eye Wash), EF (Exhaust Fan), EIFS (Exterior Insulation & Finish Systems), EJ (Expansion Joint), EL (Elevation), ELEC (Electric), ERF (Epoxy Resinous Flooring), EMRG (Emergency), EPDM (Ethyl. Propyl. Diene Monomer), EPT (Epoxy Paint), EQ (Equal), EXP (Exposed/Expansion), EXT (Exterior), EXTG (Existing), FA (Fire Alarm), FAAP (Fire Alarm Annunciator Panel), FACP (Fire Alarm Control Panel), FB (Face Brick), FBO (Furnished by Owner/Others), FD (Floor Drain), FDTN (Foundation), FE (Fire Extinguisher), FEC (Fire Extinguisher Cabinet), FH (Fire Hydrant), FHC (Fire Hose Cabinet), FIN (Finish), FLR (Floor), FP (Folding Partition), FRP (Fiberglass Reinforced Panel), FS (Floor Sink), FT (Feet), FTG (Footing), FURN (Furnace), G (Gas), GA (Gauge), GALV (Galvanized), GL (Glass), GMT (Grommet), GYP (Gypsum Wall Board), HC (Handicap), HDWR (Hardware), HM (Hollow Metal), HORIZ (Horizontal), HR (Hour), HT (Height), HVAC (Heating/Ventilation/Air Cond.), IN (Inch), INSUL (Insulation), INT (Interior), JAN (Janitor), KEH (Kitchen Exhaust Hood), LAM (Laminate), LAV (Lavatory), LF (Lateral File), LK (Lock/Lockable Cabinet), LP (Light Pole), LVT (Luxury Vinyl Tile), MAS (Masonry), MAX (Maximum), MB (Marker Board), MECH (Mechanical), MEZZ (Mezzanine), MFR (Manufacturer), MH (Manhole), MIN (Minimum), MISC (Miscellaneous), MLB (Mail Boxes), MTL (Metal), NTS (Not to Scale), OC (On Center), OE (Overhead Electrical), OH (Overhead), OPP (Opposite), P.LAM (Plastic Laminate), PC (Precast Concrete), PL (Plate), PLAS (Plaster), PAINT (Paint), PLYWD (Plywood), QUARRY TILE (Quarry Tile), QUARTZ TILE (Quartz Tile), RISER (Riser), RADIATION (Radiation), RUBBER BASE (Rubber Base), ROOF DRAIN (Roof Drain), REINFORC (Reinforcement), REQUIRED (Required), RUBBER FLOOR TILE (Rubber Floor Tile), ROOM (Room), RUBBER STAIR TREAD (Rubber Stair Tread), ROOFTOP UNIT (Rooftop Unit), SAN (Sanitary Sewer), SB (Smart Board), SC (Sealed Concrete), SECT (Section), SF (Square Foot), SGL (Single), STRUCTURAL GLAZED TILE (Structural Glazed Tile), SIM (Similar), SINK (Sink), SMARTBOARD BY OWNER (Smartboard by Owner), SQUARE (Square), STAINLESS STEEL (Stainless Steel), STORM SEWER (Storm Sewer), STD (Standard), STL (Steel), STP (Stone Panel), SUH (Suspended Unit Heater), SUSP (Suspended), SV (Sheet Vinyl), TACK BOARD (Tack Board), TERRAZZO (Terrazzo), T/O (Top of), TACK PANEL (Tack Panel), TYP (Typical), UNDERGROUND ELECTRICAL (Underground Electrical), UNDERGROUND CABLE (Underground Cable), UNDERGROUND GAS (Underground Gas), UNIT HEATER (Unit Heater), U.N.O. (Unless Noted Otherwise), UV (Unit Ventilator), VRB (Vented Rubber Base), VCT (Vinyl Composition Tile), VERT (Vertical), V.I.F. (Verify in Field), W (Water), WC (Water Closet), WD (Wood), WDW (Window), WH (Water Heater), WS (Water Softener), WT (Weight), WWF (Welded Wire Fabric), W/ (With), W/O (Without), YR (Year)

**PARTITION TYPES**

Table of partition types including M1 (8" CMU infill - tooth-in as required), M2 (8" CMU reinforced - extend to structure above), M3 (8" CMU - extend to structure above), M4 (6" CMU - extend to structure above), M5 (8" CMU - running bond - extend to 24" A.F.F.), M6 (4" CMU - extend to structure above), M7 (4" CMU - extend to 4" above ceiling), S1 (Partition infill - 5/8" type "x" gyp board over both sides), S2 (3 5/8" metal studs at 16" O.C. with 5/8" type "x" gyp board)

**MATERIAL / CONSTRUCTION LEGEND**

Diagrammatic legend for construction elements: CASEWORK ELEVATION, BUILDING SECTION, BUILDING ELEVATION, DETAIL SYMBOL, DOOR IDENTIFICATION, PLAN SYMBOLS, STANDARD WALL IDENTIFICATION. Includes symbols for key notes, partition identification, demolition boxes, room identification, window identification, new masonry/drywall partitions, existing wall partitions, and existing items to be demolished.

**ROOM FINISH SCHEDULE**

Table with columns: ROOM NO., ROOM, FLOOR, BASE, WALLS (NORTH, SOUTH, EAST, WEST), CEILING, REMARKS. Lists rooms from A1 to A32 with their respective finishes and notes.

**ROOM FINISH NOTES**

NOTE 1: REMOVE AND REPLACE DAMAGED GYP CEILINGS AS REQUIRED - PAINT
NOTE 2: ALL FOUR WALL TO RECEIVE ACOUSTICAL WALL PANELS. PANELS SHALL BE NOTCHED AROUND DOOR AND WINDOW FRAMES

AD 9.8.2022

**DOOR SCHEDULE**

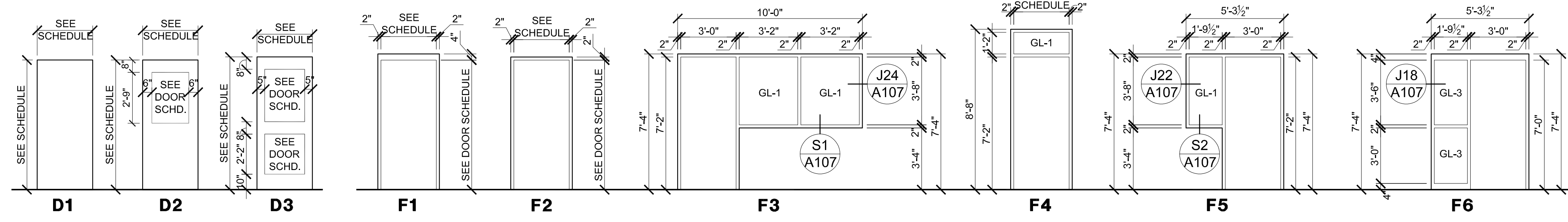
Table with columns: DOOR NO., DOORS (SG/PR, WIDTH, HEIGHT, THICK), DOOR TYPE (MTL, ELEV.), FRAMES (MTL, ELEV.), GLAZING (DOOR, FRAME), DETAILS (HEAD, JAMB, SILL, HDWR GROUP, LABEL), REMARKS. Lists doors from A3 to A32B with specifications.

**DOOR SCHEDULE NOTES**

NOTE 1: DOOR BY FREEZER MANUFACTURER - SEE SPECIFICATIONS
NOTE 2: OVERHEAD GARAGE DOOR - SEE SPECIFICATIONS
NOTE 3: CARD READER BY OTHERS - SEE SPECIFICATIONS

**GLASS TYPES**

Table of glass types: GL-1 (1" insulated, low 'e', tempered, tinted glass), GL-2 (1/4" clear, tempered glass), GL-3 (1" insulated mapes panel), GL-4 (fire rated glass)

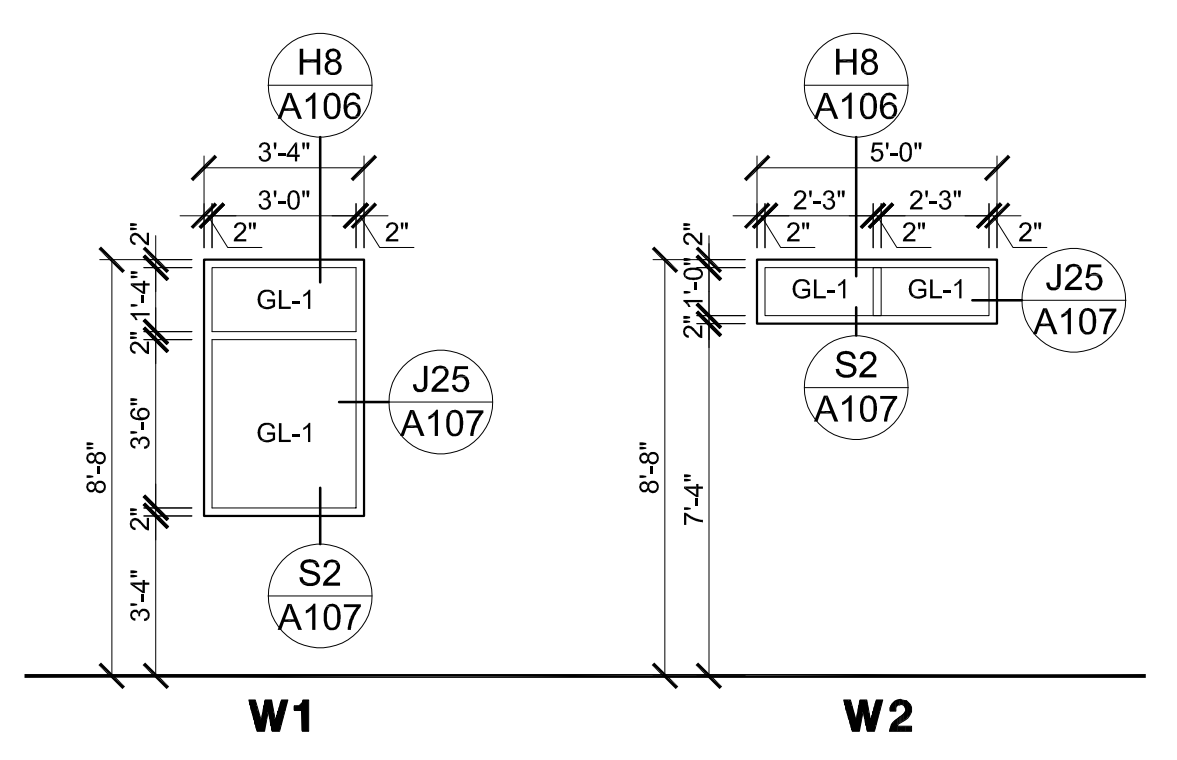


**DOOR TYPES**

SCALE: 1/4"=1'-0"

**FRAME TYPES**

SCALE: 1/4"=1'-0"



**WINDOW TYPES**

SCALE: 1/4"=1'-0"

ADDITION & RENOVATIONS AT
WINNEBAGO CO. ANIMAL SERVICES
ROCKFORD, ILLINOIS

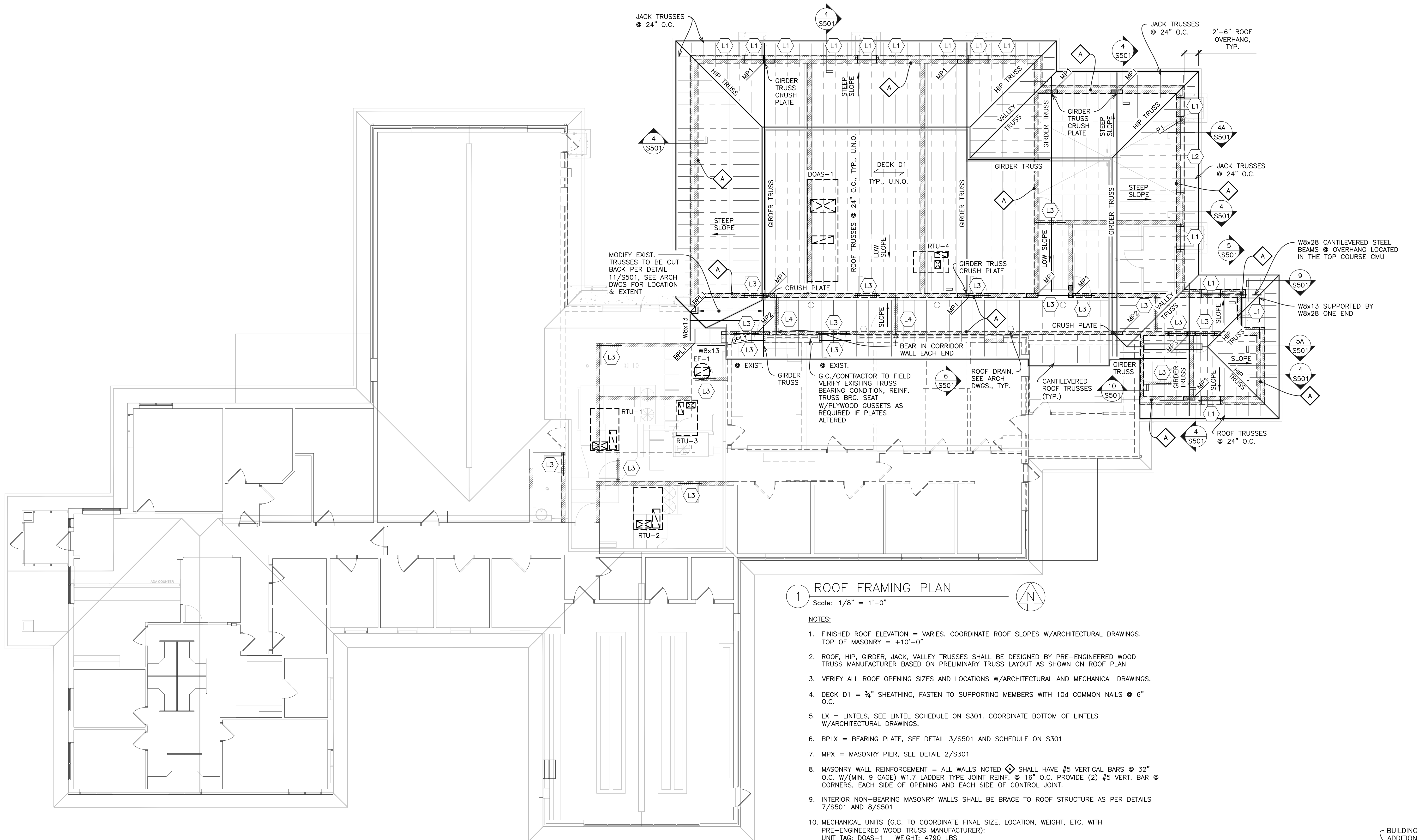
RICHARD L. JOHNSON
ASSOCIATES | ARCHITECTS

SHEET IDENTIFICATION
ABBREVIATIONS, WALL TYPES,
CONSTRUCTION LEGEND, ROOM
SCHEDULE, DOOR SCHEDULE,
DOOR, FRAME AND WINDOW TYPES

PROJECT INFORMATION
Date August 16, 2022
Rev. Date September 8, 2022
RLJA Proj | 2022-020

SHEET NUMBER

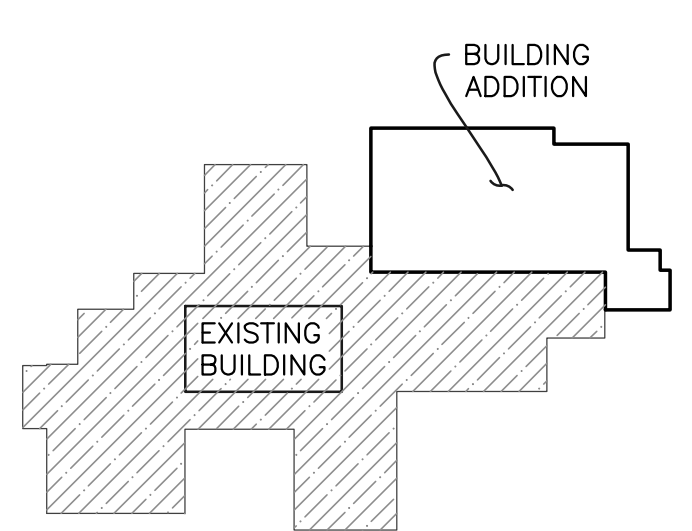
G101
OF
3



**1 ROOF FRAMING PLAN**  
 Scale: 1/8" = 1'-0"

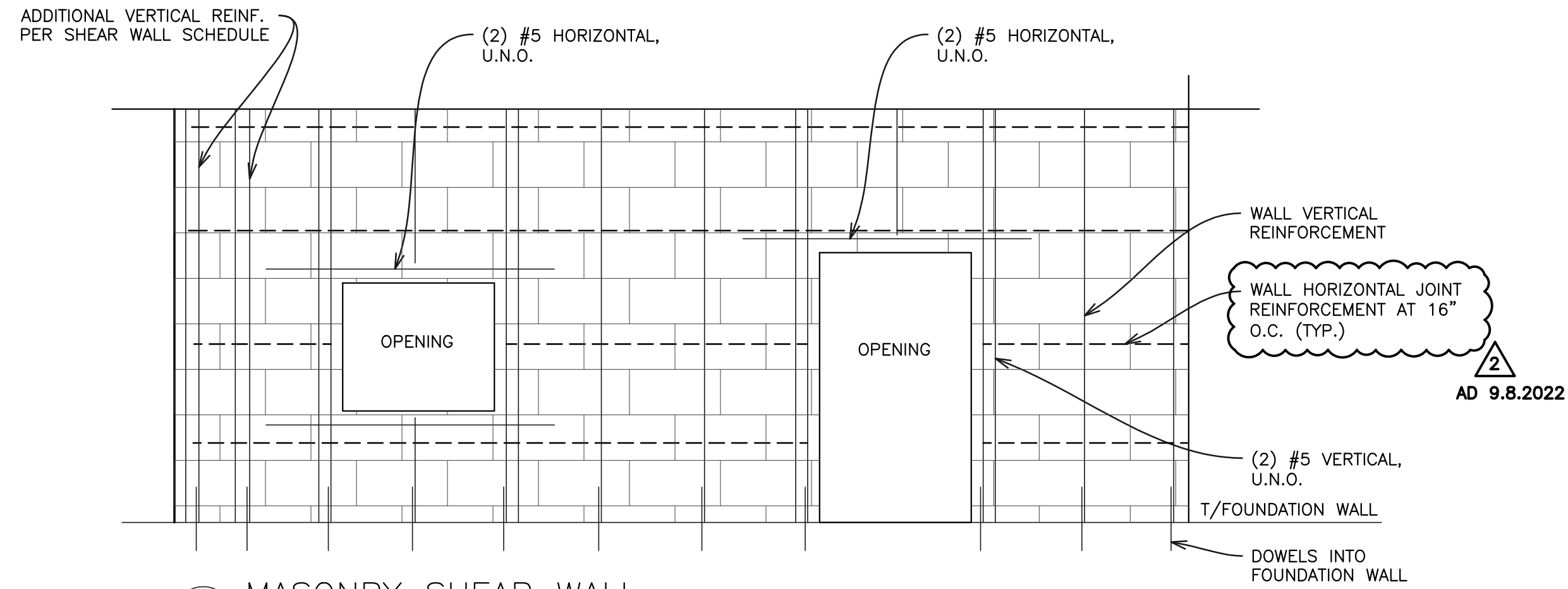
- NOTES:**
1. FINISHED ROOF ELEVATION = VARIES. COORDINATE ROOF SLOPES W/ARCHITECTURAL DRAWINGS. TOP OF MASONRY = +10'-0"
  2. ROOF, HIP, GIRDER, JACK, VALLEY TRUSSES SHALL BE DESIGNED BY PRE-ENGINEERED WOOD TRUSS MANUFACTURER BASED ON PRELIMINARY TRUSS LAYOUT AS SHOWN ON ROOF PLAN
  3. VERIFY ALL ROOF OPENING SIZES AND LOCATIONS W/ARCHITECTURAL AND MECHANICAL DRAWINGS.
  4. DECK D1 = 3/4" SHEATHING, FASTEN TO SUPPORTING MEMBERS WITH 10d COMMON NAILS @ 6" O.C.
  5. LX = LINTELS, SEE LINTEL SCHEDULE ON S301. COORDINATE BOTTOM OF LINTELS W/ARCHITECTURAL DRAWINGS.
  6. BPLX = BEARING PLATE, SEE DETAIL 3/S501 AND SCHEDULE ON S301
  7. MPX = MASONRY PIER, SEE DETAIL 2/S301
  8. MASONRY WALL REINFORCEMENT = ALL WALLS NOTED  $\diamond$  SHALL HAVE #5 VERTICAL BARS @ 32" O.C. W/(MIN. 9 GAGE) W1.7 LADDER TYPE JOINT REINF. @ 16" O.C. PROVIDE (2) #5 VERT. BAR @ CORNERS, EACH SIDE OF OPENING AND EACH SIDE OF CONTROL JOINT.
  9. INTERIOR NON-BEARING MASONRY WALLS SHALL BE BRACE TO ROOF STRUCTURE AS PER DETAILS 7/S501 AND 8/S501
  10. MECHANICAL UNITS (G.C. TO COORDINATE FINAL SIZE, LOCATION, WEIGHT, ETC. WITH PRE-ENGINEERED WOOD TRUSS MANUFACTURER):  
 UNIT TAG: DOAS-1 WEIGHT: 4790 LBS  
 RTU-1 WEIGHT: 1300 LBS  
 RTU-2 WEIGHT: 1300 LBS  
 RTU-3 WEIGHT: 1250 LBS  
 RTU-4 WEIGHT: 1800 LBS  
 EF-1 WEIGHT: 51 LBS
  11. P1 = HSS4x4x1/4 WITH 1/2"x8"x10" BASE PLATE WITH (2) 3/4" HILTI KWIK BOLT 3
  12. MASONRY WALL REINFORCEMENT INTERIOR NON-BEARING WALLS = #5 VERTICAL @ 48" O.C. W/(MIN. 9 GAGE) W1.7 LADDER TYPE JOINT REINF. @ 16" O.C. PROVIDE (2) #5 VERT. BAR @ CORNERS, EACH SIDE OF OPENING AND EACH SIDE OF CONTROL JOINT, TYP., U.N.O.

AD 9.8.2022



**KEY PLAN**  
 Scale: N.T.S.

PROJECT INFORMATION		SHEET IDENTIFICATION	
Date	August 16, 2022	ROOF FRAMING PLAN	
Rev. Date	Sept. 8, 2022	SHEET NUMBER	
Rev. Date	Sept. 8, 2022	S201	
Rev. Date	Sept. 8, 2022	OF	
Rev. Date	Sept. 8, 2022	11	
Rev. Date	Sept. 8, 2022	11	



### 1 MASONRY SHEAR WALL

Scale: N.T.S.

#### TYPICAL REINFORCED MASONRY NOTES

TYPICAL HORIZONTAL AND VERTICAL REINFORCING BARS SHALL BE AS NOTED ON THE PLAN SHEET. ADDITIONAL REINFORCING SHALL BE AS FOLLOWS:

- (1) #5 VERTICAL REINFORCING BARS SHALL BE PROVIDED, CONTINUOUSLY FROM SUPPORT TO SUPPORT (FINISHED FLOOR TO ROOF) AT:

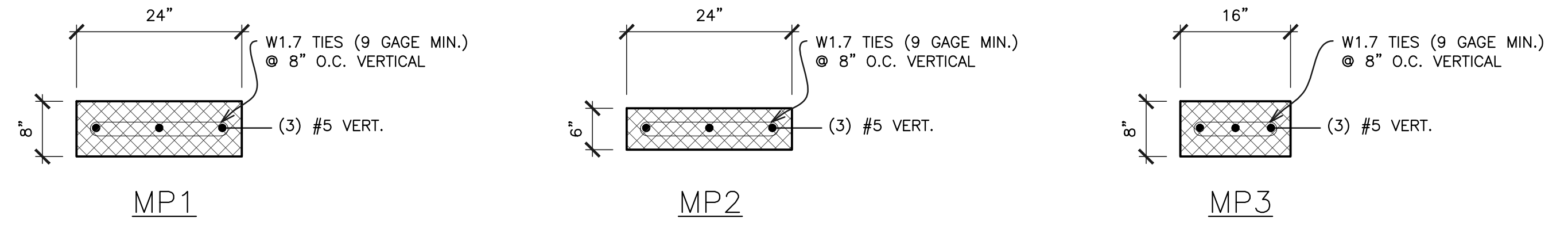
- EACH END OF WALL;
- EACH WALL INTERSECTION;
- EACH SIDE OF A MASONRY OPENING > 1'-0" IN WIDTH;
- EACH SIDE OF A MASONRY CONTROL OR EXPANSION JOINT;
- EACH CORNER OF THE BUILDING.

- (1) #5 HORIZONTAL REINFORCING BARS SHALL BE PROVIDED AT:

- TOP AND BOTTOM OF MASONRY OPENINGS;
- FLOOR AND ROOF LEVELS, CONTINUOUS;
- TOP OF MASONRY WALLS, CONTINUOUS;
- BOTTOM OF MASONRY WALLS, CONTINUOUS.

- FOR LARGE OPENINGS, PROVIDE SAME NUMBER OF BARS, EACH SIDE OF OPENING AS THAT NUMBER OF BARS INTERRUPTED BY OPENING.

- PROVIDE DOWELS TO FOUNDATION WALLS BELOW. DOWELS SHALL MATCH REINFORCING BARS NOTED AND SHALL BE 5'-0" LONG AND EMBEDDED 2'-6" INTO THE FOUNDATION WALL BELOW.



### 2 MASONRY PIER DETAIL

Scale: N.T.S.

REINFORCED MASONRY LINTEL SCHEDULE				
MARK	MEMBERS	SHP.	BRG.	REMARKS
L1	W8x10 + HSS3 1/2 x 3 1/2 x 1/8 + CONT. 1/8\"/>			
L2	W8x24 + CONT. 1/8\"/>			
L3	W8x10 + CONT. 1/8\"/>			
L4	W8x10 + CONT. 1/8\"/>			

NOTES:  
 1. LINTELS SHALL BEAR ON SOLID/GROUTED SOLID MASONRY, SEE GENERAL NOTES AND DETAILS.  
 2. REFER TO ARCHITECTURAL DRAWINGS FOR OPENING SIZES, LOCATIONS AND ELEVATIONS.

MISCELLANEOUS LINTEL SCHEDULE (NON-BEARING WALLS)		
WALL THICKNESS	≤ 4'-0" MSY. OPNG.	4'-0" TO 8'-0" MSY. OPNG.
EACH 4"	8" MSY. BOND BM. W/(1) #4 OR L3x3x3/8	L6x3x3/8
6"	8" MSY. BOND BM. W/(2) #4	N.A.
8"	8" MSY. BOND BM. W/(2) #4 OR (2) L3 1/2 x 3 1/2 x 3/8	W8x13 + 1/8\"/>

NOTES:  
 1. LINTELS SHALL BEAR ON SOLID/GROUTED SOLID MASONRY, SEE GENERAL NOTES AND DETAILS.  
 2. REFER TO ARCHITECTURAL DRAWINGS FOR OPENING SIZES, LOCATIONS AND ELEVATIONS.  
 3. FOR BEARING PLATE DETAIL, SEE 3/S501

BEARING PLATE SCHEDULE		
MK	MEMBERS	REMARKS
BPL 1	1/2" THICK x 7" W x 8" LONG W/(2) 1/2" x 4" HEADED STUDS	SEE DETAIL 3/S501

NOTES:  
 1. BEARING PLATE SHALL BEAR ON SOLID/GROUTED SOLID MASONRY, SEE GENERAL NOTES AND DETAILS